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## CERTIFICATE OF APPROPRIATENESS STAFF REPORT

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FROM: Community Development Department

Prepared by: Brittany Anderson

SUBJECT: COA2504-024 225 Reformation Parkway, Suite 200 (Design Request of Minor Exterior Modifications to an Existing Building)

DATE: April 2, 2025

### RECOMMENDATION

HPC to consider the applicant's design request of minor exterior modifications to an existing building located at 225 Reformation Parkway, Suite 200 as submitted and guided by the City's Historic District Design Guidelines.

### REPORT-IN-BRIEF

### DISCUSSION

The applicant is requesting to install a roof system along part of the existing porch. It will match the same style, color, and materials of previously approved porches that are already on the property. Additionally, there will be changes to the existing gutters and the addition of new gutters to the roof.

### **GENERAL FAÇADE STANDARDS**

The treatment and management of exterior materials and architectural features of buildings is important to preserve and enhance the character of the historic district. Over time, commercial buildings are altered or remodeled to enhance commercial competitiveness, reflect current design trends or address maintenance issues. While some improvements use quality materials and sensitive design to maintain the architectural integrity of a building, other projects are misguided and destroy or remove important and historic elements of a building. The following guidelines shall be used for treating façades.



1. Retain all elements, materials and features that are original to the building, and do not cover building façades or fill in existing openings.
2. Remove any materials that have been added to cover the original façade materials and storefronts.
3. Restore as many original elements as possible, particularly the materials, windows, decorative details and cornices.
4. When designing new elements, conform to the original building architecture and materials.
5. Design new elements that respect the architecture, material and design of the building.
6. Do not create false historical appearances or introduce themes that alter the building's form or architectural style. Do not add elements where they never previously existed, such as mansard roofs, metal awnings, decorative shutters, dormers, or balconies.
7. Do not sandblast or use any abrasive cleaning methods, including pressure water cleaning, on historic materials.
8. Do not paint, add water sealers, or apply any surface treatment to unpainted masonry surfaces.
9. Use the National Park Service Preservation Briefs (see the Appendix for a listing) when undertaking cleaning, restoration and rehabilitation projects.
10. Repair/repoint masonry with comparable mixes and materials to those in place. Duplicate the original material in composition, color, texture and method of application and joint profile.

### **ENTRANCES/STOREFRONTS**

Entrances should be designed to be transparent and encourage pedestrian access from the street. When applied, these conditions allow for merchandise, dining areas or office space to be visible from the street; allow natural light into the building; and create real or perceived activity along a street. The following guidelines shall apply to the treatment of storefront entrances/storefronts.

1. Storefronts should consist of large, transparent glass display windows with bulkheads below. Transom windows above display windows or entry doors are also appropriate. The glass windows should provide areas to display merchandise or make visible office or dining space.
2. Preserve the entry ceiling height, door transoms, materials or storefront plan original to the building. Changes to entrances that have gained historic significance over time should also be preserved.
3. Preserve the entry exterior floor original to the building. Changes to an entry floor that has gained historic significance over time should also be preserved.
4. Maintain existing openings. The front and side of buildings should not have blank walls (no openings).



## **PORCHES AND PATIOS ROOFS**

Outdoor patios and porches can be great amenities for a building. They can expand seating space for restaurants, create a greenspace element or enliven a street with activity. However, they should be designed in context with surrounding buildings and should not conflict with the architecture of the building. The following guidelines shall apply.

1. Do not add a porch to front or side façades of commercial buildings where none originally existed.
2. Design the porch to be consistent with the architecture of the principal building.
3. Storefront, or "façade", patios may be added if they do not replace historic storefronts. The design should be compatible with original entrances.
4. Do not permanently enclose or alter the design of original porch or house foundation walls.
5. Situate downspouts along porch supports (or along the edges and corners of buildings) to create
6. minimal visual disruption.
7. Do not enclose or fill in front porches or historic side porches that are visible from the street, with the exception of screening (as long as it is installed on the inner plane of the columns and inner side of balustrades).
8. Design handicap ramps to incorporate elements of the primary façade, such as continuation of a
9. porch balustrade along the length of the ramp. Locate ramps to the side of rear of the building, where feasible, and respect the architectural style, materials and scale of the principal building.

## **ROOFS**

Roofs serve as functional elements of buildings as well as an decorative features. Functionally, a roof protects the interior of a building from natural elements. This is especially true for managing rain water, as a roof helps direct the water away from a building. Architecturally, a roof provides a decorative accent to the top of a building.

To manage both the functional and architectural significance of roofs, the following guidelines shall apply.

1. For existing buildings, preserve the original roof shape, structure, pitch and materials.
2. Retain and repair original roof materials. If replacement of original materials is necessary, new roof materials should match as closely as possible the texture, color, design and composition of the original materials.



3. New roofs should respect the slope and form of adjacent buildings along a street. Commercial buildings typically have shallow shed roofs concealed behind roof cornices and/or parapet walls. Residential buildings typically have pitched roofs, such as a gable or hipped roof.
4. Do not install a new roof over an existing roof. Additionally, do not install a new roof that covers
5. or overlaps the parapet wall.

For additional information regarding the applicant's request, please see the attached application.

CONCURRENCES

FISCAL IMPACT

ALTERNATIVES

Attachments - COA2504-024 Application



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # \_\_\_\_\_ (staff only)

- 1. Application Requirements: All applications must be complete and include required support materials...
2. Application Deadline: Applications and support materials must be submitted fifteen (15) business days prior...
3. Application Representation: The applicant or authorized representative of the applicant must attend the HPC meeting...
4. Building Permit Requirements: In addition to a COA application, building permits may be required from the Building Department...
5. Deadline for Project Completion: After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
6. Local Resources: The Canton City Map, The Canton Historic District Design Guidelines, and The Canton Historic District Residential Design Guidelines provides a boundary map...

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN THE APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE.

Contact Information:

Applicant Name\*: Lee Oliver Telephone: 478-957-7451
Email: leeo@hive-canton.com
Mailing Address: 225 Reformation Pkwy Canton Ga 30114

\*NOTE: If the applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include the owner's telephone number and mailing address.

Property Information:

Address: 225 Reformation Pkwy Suite 200 Canton, Ga 30114
Land Lot(s): 158, 159, 166 + 167
District/Section: 14 2 Map #: T14N17 024 Parcel #: PIN 14-0166-0080
Zoning: PD-MU Present Use: OFFICE

Scope of Work: (Check all that apply)

Table with columns for STAFF REVIEW, HPC REVIEW, TYPE OF REVIEW, and OTHER. Includes checkboxes for removal of non-historic structures, installation of storm doors/windows, addition/alteration/new construction/restoration/commercial, signs/site features/demolition/relocation/residential, and amendment to previous COA.





# Community Development Department

110 Academy Street, Canton, Georgia 30114  
770-704-1500

## Application Checklist

A complete application requires support materials. Please check the list below for which materials may be necessary for design review of a particular project.

### New Buildings and New Additions

- Letter of Intent
- Site plan
- Architectural elevations
- Landscape plan (vegetation not required)
- Description of materials
- Photographs of proposed site and adjoining properties

### Major Restoration, Rehabilitation or Remodeling

- Letter of Intent
- Architectural elevations or sketches
- Description of proposed changes
- Description of materials
- Photographs of existing building
- Documentation of earlier historic appearance (Restoration only)

### Minor Exterior Changes

- Letter of Intent
- Description of proposed changes
- Description of materials
- Photographs of existing building

### Site Changes – Parking Areas, Drives and Walks

- Letter of Intent
- Site plan or sketch of site
- Description of materials
- Photographs of site

### Site Changes – Fences, Walls, and Systems

- Letter of Intent
- Site plan or sketch of site
- Architectural elevations or sketches
- Description of materials
- Photographs of site

### Site Changes – Signs

- Letter of Intent
- Approved sign application
- Site plan or sketch of site
- Description of materials or illumination

NOTE: Only complete applications will be placed on the agenda for design review. All plans must be "to scale". Reduced site plans, surveys, architectural drawings...etc. will not be accepted.

Applications should be submitted to the City of Canton Community Development Department, 110 Academy Street, Canton, Georgia 30114. Please contact 770-704-1500 for more information.

Describe the proposed project (attach additional sheets if necessary). The description should include proposed materials.

Please divide the description whether the proposed scope of work will involve more than one type of project. *Example: 1) Addition of storage and 2) installation of sign.*

*Please see letter of intent, photos and engineering drawing below*

*Thank you*



Thrive Canton is proposing to construct a roof system on part of the existing porch **(Photo A)**. The goal is that this will further activate our porch space for members to enjoy 3 seasons out of the year. For the past two years this has been one of our most requested upgrades by our members. As of now the porch is only comfortable for use for a few months out of the year. Once we get into early summer the full day of sun heats the porch to very uncomfortable temperatures that makes the space only usable during the early morning hours and late evenings

We are specifically requesting the following:

- The proposed roof will run along the exterior wall of the porch leaving the "peninsula" of the porch uncovered. **(Photo B)**
- This porch will match the same style, color, and materials of the nine previously approved porches that already exist on the property. Specifically the metal framing will be painted Tricorn Black and metal roof material will be metallic grey. The existing railing will remain. **(Photos C, D, E)**
- Six posts will be welded to the existing floor structure and the porch to provide forward support for the overhanging roof.
- Furthermore, the back part of the roof will be connected to a metal beam that will be bolted to the existing exterior wall. No posts are proposed to support the rear of the roof, this will allow a clear view in and out of the existing windows.
- The roof will span 52' 2" from left to right and will have an increasing depth starting at 8' on the left side increasing to 20' 6" on the right, this change will match the porch footprint below. **(Photo F)**
- Some changes to existing gutters as well as the addition of new gutters to the roof will be needed to properly direct water down the building.

Once constructed we will refurnish the area with soft seating, tables, for our growing membership to take advantage of. Once constructed we will add ceiling fans and some ceiling mounted light fixtures to make the space suitable and safe during night time hours as well. We would also like to install string lights at some point on the uncovered "peninsula" portion of the roof.

Photo A



Photo B





Photo C



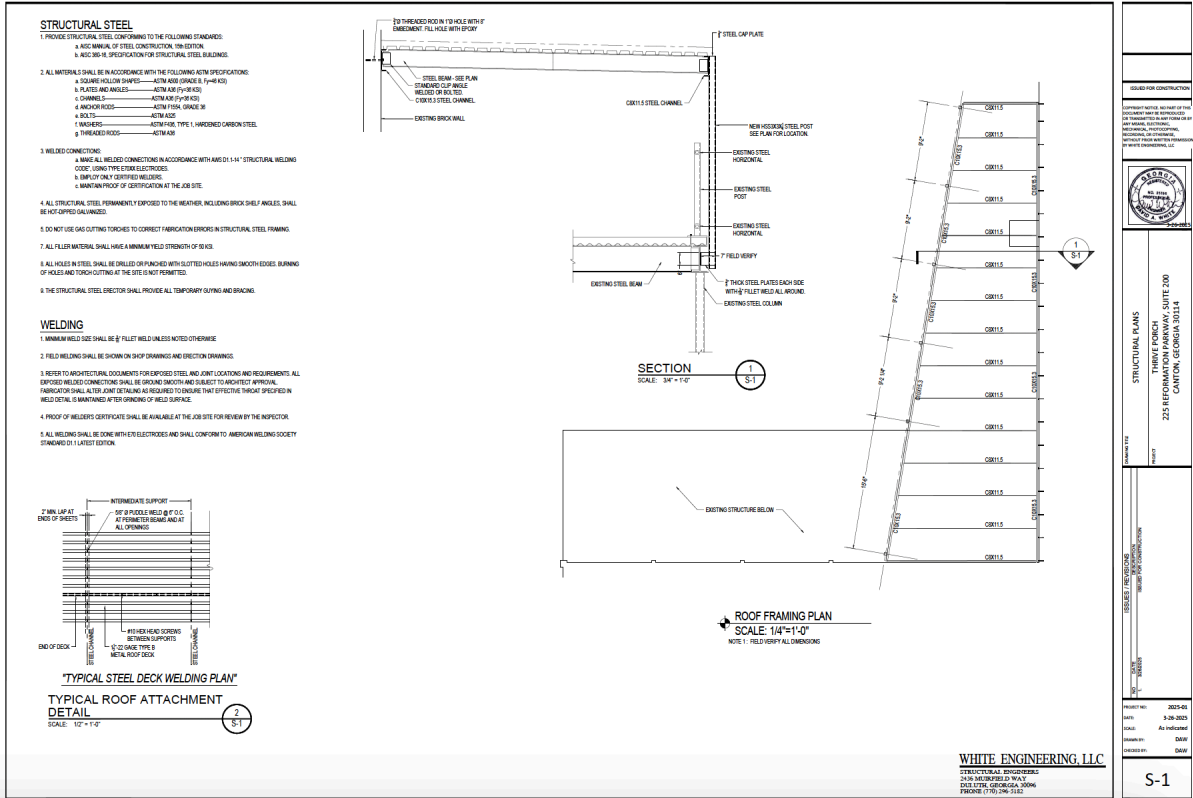
Photo D



Photo E

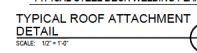
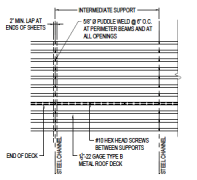


Photo F



- STRUCTURAL STEEL**
- PROVIDE STRUCTURAL STEEL CONFORMING TO THE FOLLOWING STANDARDS:
    - AISC 360-16 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
  - ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING ASTM SPECIFICATIONS:
    - SQUARE HOLLOW SHAPES—ASTM A588 (GRADE B, Fy=46 KSI)
    - FLATES AND ANGLES—ASTM A36 (Fy=36 KSI)
    - CHANNELS—ASTM A36 (Fy=36 KSI)
    - WELDED ROOFS—ASTM A36 (Fy=36 KSI)
    - BOLTS—ASTM A325
    - WASHERS—ASTM F436 TYPE 1, HARDENED CARBON STEEL
    - THREADED RODS—ASTM A307
  - WELDED CONNECTIONS:
    - MINIMAL WELDED CONNECTIONS IN ACCORDANCE WITH AWS D1.1:14 "STRUCTURAL WELDING CODE" USING TYPE E308 ELECTRODES
    - EMPLOY ONLY CERTIFIED WELDERS
    - MAINTAIN PROOF OF CERTIFICATION AT THE JOB SITE
  - ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO THE WEATHER, INCLUDING BRICK SHELF ANGLES, SHALL BE HOT DIPPED GALVANIZED.
  - DO NOT USE GAS CUTTING TORCHES TO CORRECT FABRICATION ERRORS IN STRUCTURAL STEEL FRAMING.
  - ALL FILLER MATERIAL SHALL HAVE A MINIMUM YIELD STRENGTH OF 50 KSI.
  - ALL HOLES IN STEEL SHALL BE DRILLED OR PUNCHED WITH SLOTTED HOLES HAVING SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.
  - THE STRUCTURAL STEEL DIRECTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING.

- WELDING**
- MINIMUM WELD SIZE SHALL BE 1/8" FILLER WELD UNLESS NOTED OTHERWISE.
  - FIELD WELDING SHALL BE SHOWN ON SHOP DRAWINGS AND DETAIL DRAWINGS.
  - REFER TO ARCHITECTURAL DOCUMENTS FOR EXPOSED STEEL AND JOINT LOCATIONS AND REQUIREMENTS. ALL EXPOSED WELDED CONNECTIONS SHALL BE GRINDING SMOOTH AND SUBJECT TO VISUALLY INSPECTED. FABRICATION SHALL ALTER JOINT DETAILING AS REQUIRED TO ENSURE THAT EFFECTIVE THROAT SPECIFIED IN WELD DETAIL IS MAINTAINED AFTER GRINDING OF WELD SURFACE.
  - PROOF OF WELDERS CERTIFICATE SHALL BE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE INSPECTOR.
  - ALL WELDING SHALL BE DONE WITH EYE ELECTRODES AND SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARDS BY LATEST EDITION.



ISSUED FOR CONSTRUCTION

CONTRACT NO. 2023-04

PROJECT NO. 2023-04

DATE: 2-20-2023

SCALE: AS INDICATED

DRAWN BY: DWM

CHECKED BY: DWM



STRUCTURAL PLANS

THREE EPOCH

225 INFORMATION PARKWAY, SUITE 200

CANTON, GEORGIA 30115

PROJECT NO. 2023-04

DATE: 2-20-2023

SCALE: AS INDICATED

DRAWN BY: DWM

CHECKED BY: DWM

**WHITE ENGINEERING, LLC**

STRUCTURAL ENGINEERS

225 INFORMATION PARKWAY, SUITE 200

CANTON, GEORGIA 30115

PHONE: (770) 286-1111