



HISTORIC PRESERVATION COMMISSION MEETING REPORT

FROM: Community Development Department

PREPARED BY: Tyler Peoples, Planning Tech

SUBJECT: **COA2508-096 – 771 East Main Street — Design Request for an Addition to an Existing Residential Structure**

DATE: 08/28/2025

RECOMMENDATION

Historic Preservation Commission to consider the Applicant's design request of an addition to an existing residential structure located at 771 East Main Street. as submitted and guided by the City's Historic District Residential Design Guidelines.

REPORT-IN-BRIEF

DISCUSSION

The Applicant is proposing an addition to the rear of the home where there previously existed a deck. The upper level of the addition will consist of a bathroom and closet which will connect to the existing master bedroom atop a single-car garage on the lower level.

The addition will use Hardiplank to closely match the existing siding on all sides of the house. The roofline will remain consistent with the original, not exceeding the current height.

RESIDENTIAL ADDITIONS

When constructing an addition to a historic home, it is important to realize that many historic buildings cannot support additions. Often, to get the desired addition, major reconstruction of very significant features is required. Adding these major building features, such as removal of small features, has the potential to degrade the historic residential environment. A building's structural integrity and the height, scale, and massing of surrounding buildings are paramount when determining whether a dwelling can support an addition.

1. If additional square footage is necessary, designing the new addition to the rear of the structure is preferred to adding another story if space is available to the rear of the building. This will not interfere with the original form of the home as seen from the public right-of-way.

Phone: 770.704.1500 | Fax: 770.704.1538 | 110 Academy Street | Canton, Georgia 30114

cantonga.gov

2. Inset new walls from the corner and lower roofs when framing additions from the side of the home, allowing the original form of the historic structure to be “read.”
3. Use of new construction material is permitted and welcome. Offset board or brick pattern slightly. Being able to differentiate the new from the old is important.
4. Ensure that the characteristics of additions continue those of the original architecture (massing, height, rhythm of openings, and general type of materials), with the goal of complimenting the existing homes in the adjacent neighborhood area.

CONCURRENCES

FISCAL IMPACT

ALTERNATIVES

ATTACHMENTS – COA2508-093 Application



Community Development Department

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770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # _____ (staff only)

- Application Requirements:** All applications must be complete and include required support materials (listed on the reverse side of this application form). Incomplete applications will not be forwarded to the Canton Historic Preservation (HPC) for review. The applicant must submit the application and all supporting materials as the appropriate building permit option using the online permitting and licensing portal found here: <https://canton.onlama.com/>. For signs, submit the application and all supporting materials as a sign permit using the online permitting and licensing portal found here: <https://canton.onlama.com/>.
- Application Deadline:** Applications and support materials must be submitted fifteen (15) business days prior to the regular HPC meeting. Applications must be submitted to the Community Development Department.
- Application Representation:** The applicant or authorized representative of the applicant must attend the HPC meeting to support the application.
- Building Permit Requirements:** In addition to a COA application, building permits may be required from the Building Department. Building permits will not be issued without proof of a COA.
- Deadline for Project Completion:** After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
- Local Resources:** [The Canton City Map](#), [The Canton Historic District Design Guidelines](#), and [The Canton Historic District Residential Design Guidelines](#) provides a boundary map of the Canton Historic District, a design review process flowchart and a list of projects that require review and approval (administrative review by Community Development Department staff or review by the Canton HPC). The Guidelines are available at City Hall and on the City of Canton website.

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN THE APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE.

Contact Information:

Applicant Name*: Bob Banks
Telephone: 678-231-0448
Email: bobbanks@seymourgroup.net

Mailing Address:

*NOTE: If the applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include the owner's telephone number and mailing address.

Property Information:

Address: 771 East Main Street Canton, 30114
Land Lot(s): _____
District/Section: _____ Map #: _____ Parcel #: _____
Zoning: _____ Present Use: _____

Scope of Work: (Check all that apply)

STAFF REVIEW:		HPC REVIEW:	
<input type="checkbox"/> Removal of non-historic detached structure	<input type="checkbox"/> Installation of screen or storm doors	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Signs
<input type="checkbox"/> Maintenance of / change in paint color	<input type="checkbox"/> Installation of screen or storm windows	<input type="checkbox"/> Alteration	<input type="checkbox"/> Site Features
		<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Relocation
		<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
TYPE OF REVIEW:			
OTHER:			
<input type="checkbox"/> Amendment to previous COA, Project #:		<input type="checkbox"/> Other (Description):	



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Application Checklist

A complete application requires support materials. Please check the list below for which materials may be necessary for design review of a particular project.

New Buildings and New Additions

- ☐ Letter of Intent
- ☐ Site plan
- ☐ Architectural elevations
- ☐ Landscape plan (vegetation not required)
- ☐ Description of materials
- ☐ Photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation or Remodeling

- ☐ Letter of Intent
- ☐ Architectural elevations or sketches
- ☐ Description of proposed changes
- ☐ Description of materials
- ☐ Photographs of existing building
- ☐ Documentation of earlier historic appearance (Restoration only)

Minor Exterior Changes

- ☐ Letter of Intent
- ☐ Description of proposed changes
- ☐ Description of materials
- ☐ Photographs of existing building

Site Changes – Parking Areas, Drives and Walks

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Fences, Walls, and Systems

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Architectural elevations or sketches
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Signs

- ☐ Letter of Intent
- ☐ Approved sign application
- ☐ Site plan or sketch of site
- ☐ Description of materials or illumination

NOTE: Only complete applications will be placed on the agenda for design review. All plans must be “to scale”. Reduced site plans, surveys, architectural drawings...etc. will not be accepted.

Applications should be submitted to the City of Canton Community Development Department, 110 Academy Street, Canton, Georgia 30114. Please contact 770-704-1500 for more information.

Describe the proposed project (attach additional sheets if necessary). The description should include proposed materials.

Please divide the description whether the proposed scope of work will involve more than one type of project. *Example: 1) Addition of storage and 2) installation of sign.*

~~We are writing to inform you about an upcoming addition to The Howard House, which was originally constructed in 1927. The proposed addition will consist of a bathroom and closet situated above the existing single-car garage. This new space will connect seamlessly with the current master bedroom, replacing a deteriorated deck area that was in place when the Banks purchased The Howard House in October 2023. Our goal is to integrate the addition harmoniously with the original structure, ensuring it preserves the historic character of the home.~~

~~The Banks have carefully selected a contractor with extensive experience working on historic residences, particularly within the Marietta Historic District. It is of utmost importance to us that the new addition reflects the integrity and aesthetic of the original home. To that end, several original elements from The Howard House will be relocated to the addition, including original doors, door hardware, shelving, and ceiling wood. Additionally, other elements such as the heart pine flooring will be reclaimed and incorporated into the new construction.~~

~~Regarding exterior materials, we plan to use hardy board that closely matches the existing siding on all sides of the house. The roofline will remain consistent with the original, not exceeding the current height. The garage door will be selected with careful attention to aesthetics, aiming for a subtle appearance that complements the home's historic character. Windows facing 791 East Main Street will be incorporated into the garage and bathroom areas to maintain visual continuity and allow natural light.~~

~~To demonstrate our commitment to preserving the historic essence of The Howard House, below are some of the key features that have been carefully restored and maintained within the existing structure:~~

~~Heart pine flooring
Shiplap walls
Wooden ceilings
Doors and hardware
Rope and pulley window systems
Kitchen sink
Bathroom tile
Bathroom sink and tub
Coal chute
Fireplace and chimney~~

~~We appreciate your consideration and support as we undertake this project. Our intent is to preserve the character and charm of The Howard House while making thoughtful updates to ensure its continued vitality.~~



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CERTIFICATE OF APPROPRIATENESS APPLICATION IMPORTANT DATES

SUBMITTAL DEADLINE	MEETING DATE
DECEMBER 16, 2024	JANUARY 6, 2025
JANUARY 13, 2025	FEBRUARY 3, 2025
FEBRUARY 10, 2025	MARCH 3, 2025
MARCH 17, 2025	APRIL 7, 2025
APRIL 14, 2025	MAY 5, 2025
MAY 12, 2025	JUNE 2, 2025
JUNE 16, 2025	JULY 7, 2025
JULY 14, 2025	AUGUST 4, 2025
AUGUST 19, 2025*	SEPTEMBER 9, 2025*
SEPTEMBER 15, 2025	OCTOBER 6, 2025
OCTOBER 23, 2025**	NOVEMBER 13, 2025**
NOVEMBER 10, 2025	DECEMBER 1, 2025
DECEMBER 15, 2025	JANUARY 5, 2026

*DATE CHANGED DUE TO CITY HALL BEING CLOSED FOR HOLIDAY

**DATE CHANGED DUE TO ELECTIONS HELD AT CITY HALL

The homeowner did not hire an architect for any stamped plans or elevations. Elevation will continue existing roof line and hip. Will continue the same siding and trim details for a seamless transition.

Banks Residence							
771 E Main St							
Canton, GA							
Siding		Hardie lap siding to match what is existing. Textured to resemble cedar.					
Framing Detail		Exposed rafter tails to match existing					
Paint Color		Match existing on exterior					
Flooring		Heart Pine	Sourced to match existing original floors as close of possible.				
Interior Trim		Will match existing profiles throughout home.					

Landscape plan

Includes sod/seed repairs as needed after construction. Work is limited to the back yard.

1. SURVEY NOTES:
- 1.1. ALL DISTANCES ON SURVEY ARE HORIZONTAL DISTANCES.
2. ALL DISTANCES ON SURVEY ARE SHOWN AS "GROUND" DISTANCES.
3. ALL DISTANCES ON SURVEY ARE EXPRESSED IN U.S. SURVEY FEET
4. ALL ANGULAR DIRECTIONS ARE EXPRESSED IN DEGREES, MINUTES AND SECONDS.
5. STREAMS ORIGINATING OR FLOWING THROUGH THE IMPROVED PROPERTY ARE SHOWN AS THEY EXIST, WITHOUT REFERENCE TO LOCAL GOVERNMENT BOUNDARY AND SETBACK REQUIREMENTS.

THIS PLOT IS SUBJECT TO ALL LEGAL EASEMENTS, RIGHTS, INTERESTS, AND CLAIMS OF ANY AND ALL PARTIES, AND ALL MATTERS OF TITLE EXCEPTED. THE PLANS AND SPECIFICATIONS UPON WHICH THIS PLOT IS BASED IS A CLOSURE OF THE SURVEY. THE SURVEY IS BASED UPON AN ANGULAR ERROR OF 72.25" PER ANGLE POINT, AND WAS ADJUSTED USING THE COUSPERS RULE. THE SURVEY WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 14,540 FEET.

FIELD MEASUREMENTS:

ANGULAR - GEOMAX ZOOM 90

LINEAR - ELECTRONIC DISTANCE METER.

ALL IRMS FOUND AND SET ARE 1/2" REBAR UNLESS OTHERWISE NOTED. WITHOUT THE SIGHT OF A LEGAL TITLE SEARCH, AND IS SUBJECT TO ANY AND ALL DISCLOSURES PRODUCED BY SAME. THIS SURVEY WAS CONDUCTED BY THE SURVEYOR ON THIS PLOT. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITY WHOSE INTEREST IS BEING SURVEYED. WITHOUT THE CONSENT OF THE SURVEYOR, THIS SURVEY IS PROHIBITED.

LEGEND

● MONUMENTED

R/W RIGHT OF WAY

P/F PRESENT OR FORMER OWNER

IPS IPS PIN SET 1/2" REBAR

LPF LPF PIN FOUND 1/2" REBAR

BL BUILDING LINE

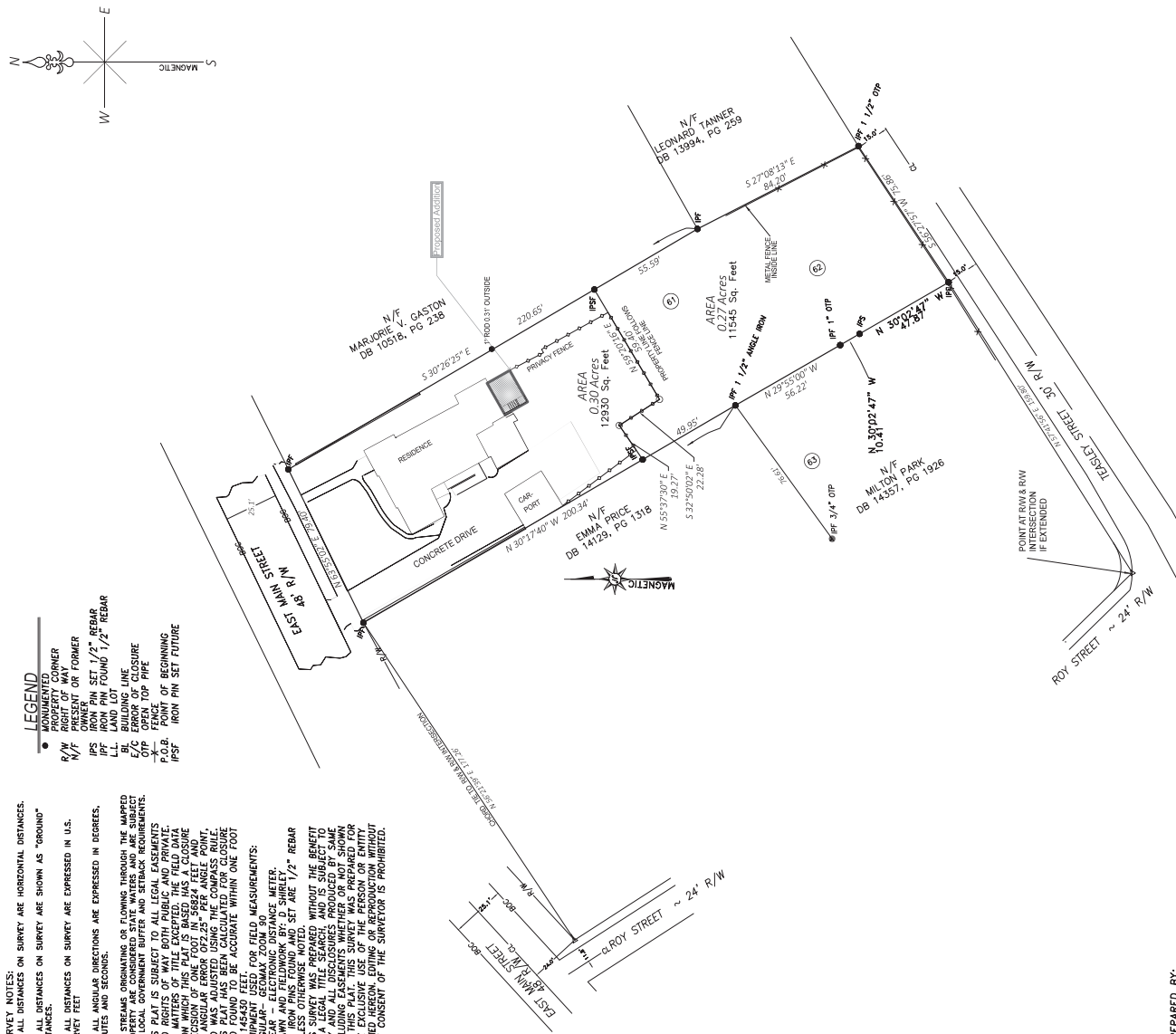
E/C ERROR OF CLOSURE

OTF OPEN TOP PIPE

X FENCE

P.O.B. POINT OF BEGINNING

IPSF IPS PIN SET FUTURE



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JOB NUMBER: 21-077

DRAWING SCALE: 1" = 30'
GRAPHIC SCALE:
0' 30' 60'





















No wallpaper









