



HISTORIC PRESERVATION COMMISSION MEETING REPORT

FROM: Community Development Department

PREPARED BY: Tyler Peoples, Planning Tech

SUBJECT: **COA2505-093 – 225 Reformation Parkway, Suite 400, Building D (Lower Level) — Design Request for Exterior Modifications to an Existing Building**

DATE: 08/28/2025

RECOMMENDATION

Historic Preservation Commission to consider the Applicant's design request of minor exterior modifications to an existing building located at 225 Reformation Parkway, Suite 400, Building D (Lower Level) as submitted and guided by the City's Historic District Design Guidelines.

REPORT-IN-BRIEF

DISCUSSION

The Applicant is requesting the following exterior modifications:

1. Proposed exterior work previously requested and approved by the HPC on 6/2/2025 has been permitted and under construction.
2. Additional exterior proposed scope includes painting the existing steel posts that sit against the building the same Pure White as the building, 5 new exterior fabric-fixed window awnings and 2 mesh screen panel systems at the exterior covered area to delineate tenant area from adjacent property storage and stair access to the tenant at floor above.
3. New signage proposed is currently being developed in conjunction with the Master Signage Plan for the Mill on Etowah. These proposed signs will be permitted separately.
4. New window awnings are stretched graphic on metal frame as shown.
5. New Mesh screens are decorative in nature with steel angles and welded wire mesh that matches the existing property guardrails in size and paint color finish (tricorn black).

GENERAL FAÇADE STANDARDS

The treatment and management of exterior materials and architectural features of buildings is important to preserve and enhance the character of the historic district. Over time, commercial

buildings are altered or remodeled to enhance commercial competitiveness, reflect current design trends or address maintenance issues. While some improvements use quality materials and sensitive design to maintain the architectural integrity of a building, other projects are misguided and destroy or remove important and historic elements of a building. The following guidelines shall be used for treating façades.

1. Retain all elements, materials and features that are original to the building, and do not cover building façades or fill in existing openings.
2. Remove any materials that have been added to cover the original façade materials and storefronts.
3. Restore as many original elements as possible, particularly the materials, windows, decorative details and cornices.
4. When designing new elements, conform to the original building architecture and materials.
5. Design new elements that respect the architecture, material and design of the building.
6. Do not create false historical appearances or introduce themes that alter the building's form or architectural style. Do not add elements where they never previously existed, such as mansard roofs, metal awnings, decorative shutters, dormers, or balconies.
7. Do not sandblast or use any abrasive cleaning methods, including pressure water cleaning, on historic materials.
8. Do not paint, add water sealers, or apply any surface treatment to unpainted masonry surfaces.
9. Use the National Park Service Preservation Briefs (see the Appendix for a listing) when undertaking cleaning, restoration and rehabilitation projects.
10. Repair/repoint masonry with comparable mixes and materials to those in place. Duplicate the original material in composition, color, texture and method of application and joint profile.

ENTRANCES/STOREFRONTS

Entrances should be designed to be transparent and encourage pedestrian access from the street. When applied, these conditions allow for merchandise, dining areas or office space to be visible from the street; allow natural light into the building; and create real or perceived activity along a street. The following guidelines shall apply to the treatment of storefront entrances/storefronts.

1. Storefronts should consist of large, transparent glass display windows with bulkheads below. Transom windows above display windows or entry doors are also appropriate. The glass windows should provide areas to display merchandise or make visible office or dining space.
2. Preserve the entry ceiling height, door transoms, materials or storefront plan original to the building. Changes to entrances that have gained historic significance over time should also be preserved.
3. Preserve the entry exterior floor original to the building. Changes to an entry floor that has gained historic significance over time should also be preserved.
4. Maintain existing openings. The front and side of buildings should not have blank walls (no openings).

ARCHITECTURAL STYLE ELEMENTS

Once the form and building placement is established for a new building - including accessory structures - its appearance should be refined so that architectural elements such as materials, size and

placement of openings, trim, cornices and other decorative features are compatible with the broader context. The following guidelines shall apply.

1. Design building style and features (including roof form) to be compatible with those of surrounding historic buildings. However, designing a building to exactly replicate neighboring historic buildings is discouraged.
2. Design the building façades so there are no blank walls.
3. Use unpainted brick as the predominant exterior material.
4. Use simple color schemes: neutral or earth tone hues for the building surface, and colors that match or complement the dominant neutral building material of the structure for the cornices and framing.
5. Refer to Chapter 5 for guidance on appropriate treatments for specific building features.

SIDE AND REAR FACADES

The sides and rear of a building can serve many functions including service access, a location for utilities as well as a secondary building entrance. Additionally, many side and rear façades face side streets or alleys and serve as a second “face” of a building. They can define the character along a side street as well as influence the perception of maintenance and safety in any area. The following guidelines shall apply to the treatment of side and rear façades.

1. Maintain service and utility access at the side or rear of buildings.
2. Use materials for service doors that are compatible with primary building materials and architecture.
3. Make secondary entrances visible from the street or parking lot. They should have a similar door treatment and design to the front entrance. Awnings and/or planters may also be appropriate to highlight the entrance.
4. Maintain side and rear doors and windows. Do not cover or fill in side or rear building openings. If an opening has been filled or covered, remove fill or cover and restore original opening(s).
5. Do not install false, “Main Street” style storefronts on the rear façade.
6. Retain and repair (rather than replace) original balconies and fire escapes. If existing landings and railings are too deteriorated, replace with an in-kind skeletal assembly to match the historic feature.
7. Do not install residential style doors.

CONCURRENCES

FISCAL IMPACT

ALTERNATIVES

ATTACHMENTS – COA2508-093 Application



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # **COA2508-093** (staff only)

- Application Requirements:** All applications must be complete and include required support materials (listed on the reverse side of this application form). Incomplete applications will not be forwarded to the Canton Historic Preservation (HPC) for review. The applicant must submit the application and all supporting materials as the appropriate building permit option using the online permitting and licensing portal found here: <https://canton.onlama.com/>. For signs, submit the application and all supporting materials as a sign permit using the online permitting and licensing portal found here: <https://canton.onlama.com/>.
- Application Deadline:** Applications and support materials must be submitted fifteen (15) business days prior to the regular HPC meeting. Applications must be submitted to the Community Development Department.
- Application Representation:** The applicant or authorized representative of the applicant must attend the HPC meeting to support the application.
- Building Permit Requirements:** In addition to a COA application, building permits may be required from the Building Department. Building permits will not be issued without proof of a COA.
- Deadline for Project Completion:** After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
- Local Resources:** [The Canton City Map](#), [The Canton Historic District Design Guidelines](#), and [The Canton Historic District Residential Design Guidelines](#) provides a boundary map of the Canton Historic District, a design review process flowchart and a list of projects that require review and approval (administrative review by Community Development Department staff or review by the Canton HPC). The Guidelines are available at City Hall and on the City of Canton website.

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN THE APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE.

Contact Information:

Applicant Name*: Maggie McBride, RA - Bunker Design Telephone: 404-402-1316
Email: maggie@bunker.design
Mailing Address: 220 E Main Street, Canton GA 30114

*NOTE: If the applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include the owner's telephone number and mailing address.

Property Information:

Address: 225 Reformation Parkway, Building D - Lower Level 0-Suite 400
Land Lot(s): 158, 159, 166 & 167
District/Section: District 14, Section 2 Map #: TIN 14N17 024 Parcel #: PIN 14-0166-0080
Zoning: _____ Present Use: Assembly A-2, Restaurant, property is Mixed Use w/ Mercantile, Restaurant, Business

Scope of Work: (Check all that apply)

STAFF REVIEW:		HPC REVIEW:	
<input type="checkbox"/> Removal of non-historic detached structure	<input type="checkbox"/> Installation of screen or storm doors	<input type="checkbox"/> Addition	<input type="checkbox"/> Signs
<input type="checkbox"/> Maintenance of / change in paint color	<input type="checkbox"/> Installation of screen or storm windows	<input checked="" type="checkbox"/> Alteration	<input type="checkbox"/> Site Features
		<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Demolition
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Relocation
		<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
TYPE OF REVIEW:			
OTHER:			
<input type="checkbox"/> Amendment to previous COA, Project #:		<input type="checkbox"/> Other (Description):	



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

Application Checklist

A complete application requires support materials. Please check the list below for which materials may be necessary for design review of a particular project.

New Buildings and New Additions

- ☐ Letter of Intent
- ☐ Site plan
- ☐ Architectural elevations
- ☐ Landscape plan (vegetation not required)
- ☐ Description of materials
- ☐ Photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation or Remodeling

- ☒ Letter of Intent
- ☒ Architectural elevations or sketches
- ☒ Description of proposed changes
- ☒ Description of materials
- ☒ Photographs of existing building
- ☒ Documentation of earlier historic appearance (Restoration only)

Minor Exterior Changes

- ☐ Letter of Intent
- ☐ Description of proposed changes
- ☐ Description of materials
- ☐ Photographs of existing building

Site Changes – Parking Areas, Drives and Walks

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Fences, Walls, and Systems

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Architectural elevations or sketches
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Signs

- ☐ Letter of Intent
- ☐ Approved sign application
- ☐ Site plan or sketch of site
- ☐ Description of materials or illumination

NOTE: Only complete applications will be placed on the agenda for design review. All plans must be “to scale”. Reduced site plans, surveys, architectural drawings...etc. will not be accepted.

Applications should be submitted to the City of Canton Community Development Department, 110 Academy Street, Canton, Georgia 30114. Please contact 770-704-1500 for more information.

Describe the proposed project (attach additional sheets if necessary). The description should include proposed materials.

Please divide the description whether the proposed scope of work will involve more than one type of project. *Example: 1) Addition of storage and 2) installation of sign.*

Please see following Letter of Intent for full summary of additional exterior scope added to the project.

Previous review and approval of proposed scope on 6/2/25 is currently under construction.

Additional HPC Scope Included is 5 new fabric window awnings, 2 new mesh panel systems at covered area and painting existing steel posts white to match building.

Signage will be permitted separately and will be coordinated with the Master Sign Plan for the overall property.



Margaret McBride, RA
August 19, 2025

City of Canton
Historic Preservation Committee
Attn: Brittany Anderson

Project Name: Kilwin's (Tenant Fit-up at the Mill on Etowah Building 'D', Suite 400 - Lower Level)

HPC Letter of Intent

Please see below and attached to this letter the filled out application, summary of proposed exterior modifications and reference imagery along with drawings for your review.

The design intent summary of proposed exterior alterations is as follows:

1. Proposed Exterior work previously requested and approved by the HPC on 6/2/25 has been permitted and under construction.
2. Additional exterior proposed scope includes painting the existing steel posts that sit against the building the same Pure White as the building, 5 new exterior fabric fixed window awnings and 2 mesh screen panel systems at the exterior covered area to delineate tenant area from adjacent property storage and stair access to tenant at floor above.
3. New signage proposed is currently being developed in conjunction with the Master Sign Plan for the Mill on Etowah. These proposed signs will be permitted separately through that process.
4. New window awnings are stretched graphic fabric on metal frame as shown.
5. New Mesh screens are decorative in nature with steel angles and welded wire mesh that matches the existing property guardrails in size and paint color finish (tricorn black).
6. Exterior Paint colors - All existing Concrete Block at exterior to be painted Pure White, along with existing steel posts that sit against block exterior walls to match. All mesh panels, infill railing and new awning supports are to be painted Tricorn Black - refer to A4.0 for color index - this black color matches the existing railing and awning support finishes. These paint colors have been previously approved by the HPC.

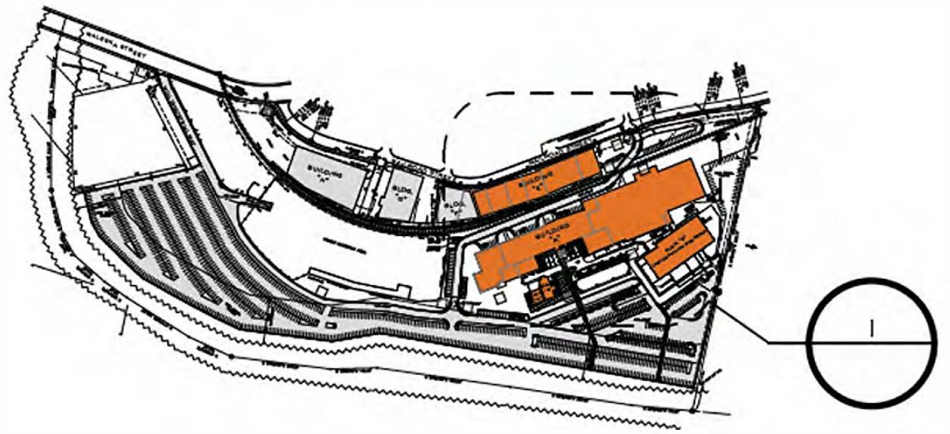
Thank you, in advance, for your consideration,

A handwritten signature in red ink, appearing to read "Margaret McBride", with a stylized flourish at the end.

Margaret McBride, RA
Bunker Design
maggie@bunker.design
+1.404.402.1316

EXHIBIT 'A'
SITE REFERENCE PLAN

COA2508-093



SITE KEY PLAN

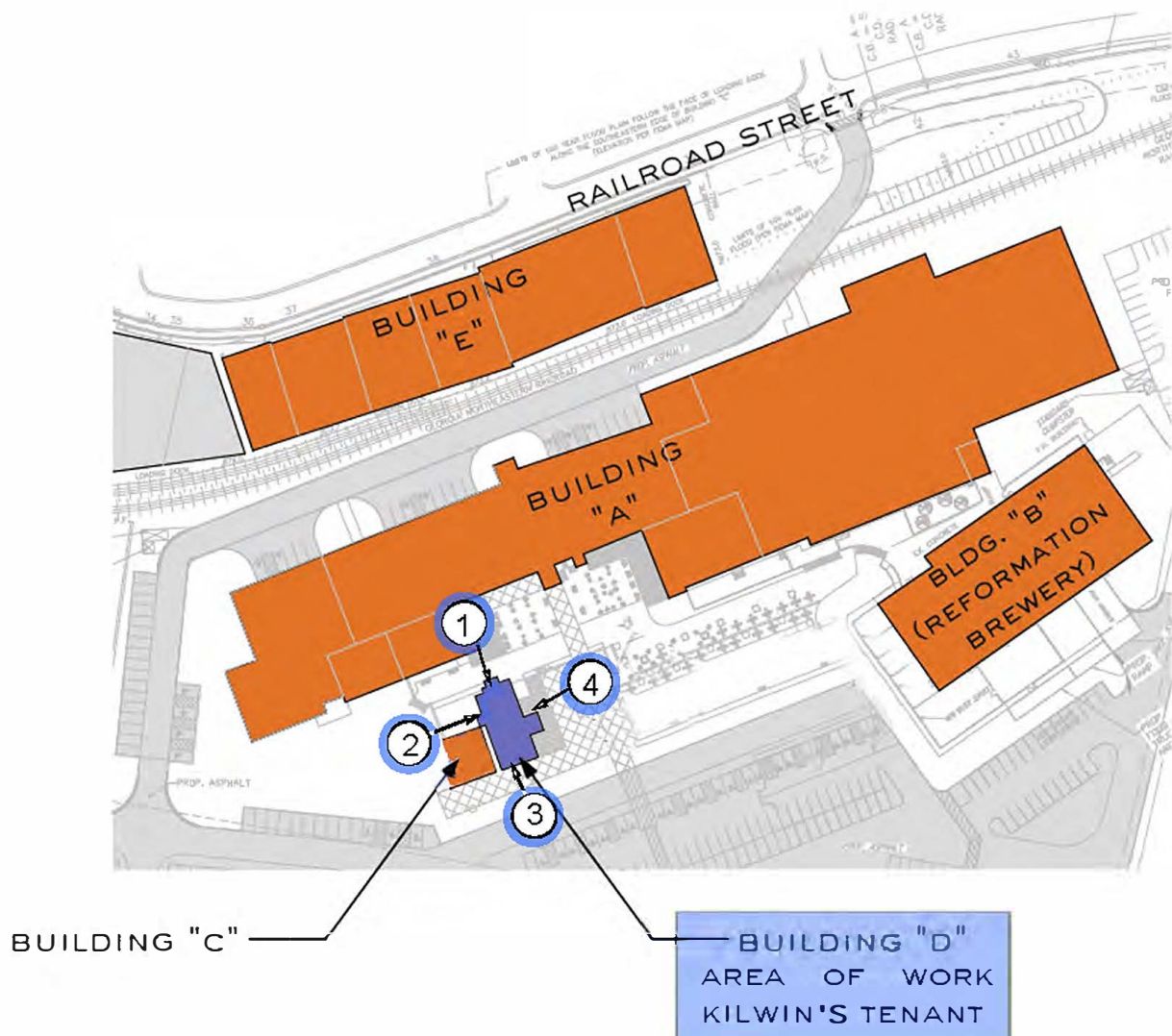


EXHIBIT 'B'
EXISTING EXTERIOR IMAGES

COA2508-093



1

IMAGE 1 - PLAN NORTH VIEW OF EXTERIOR
REFER TO ARCHITECTUAL SITE REFERENCE PLAN ON PREVIOUS PAGE



2

IMAGE 2 - PLAN EAST VIEW OF EXTERIOR
REFER TO ARCHITECTUAL SITE REFERENCE PLAN ON PREVIOUS PAGE





3

IMAGE 3 - PLAN SOUTH VIEW OF EXTERIOR
REFER TO ARCHITECTURAL SITE REFERENCE PLAN ON PREVIOUS PAGE



4

IMAGE 4 - PLAN WEST VIEW OF EXTERIOR
REFER TO ARCHITECTURAL SITE REFERENCE PLAN ON PREVIOUS PAGE



EXHIBIT 'D'
OWNER AUTHORIZATION LETTER

COA2508-093

08/19/25

To Whom It May Concern:

This letter is to serve as approval for Bunker Design Collaborative to serve as authorized agent for the Historical Preservation Committee submittal for Suite 400 at the above referenced property.

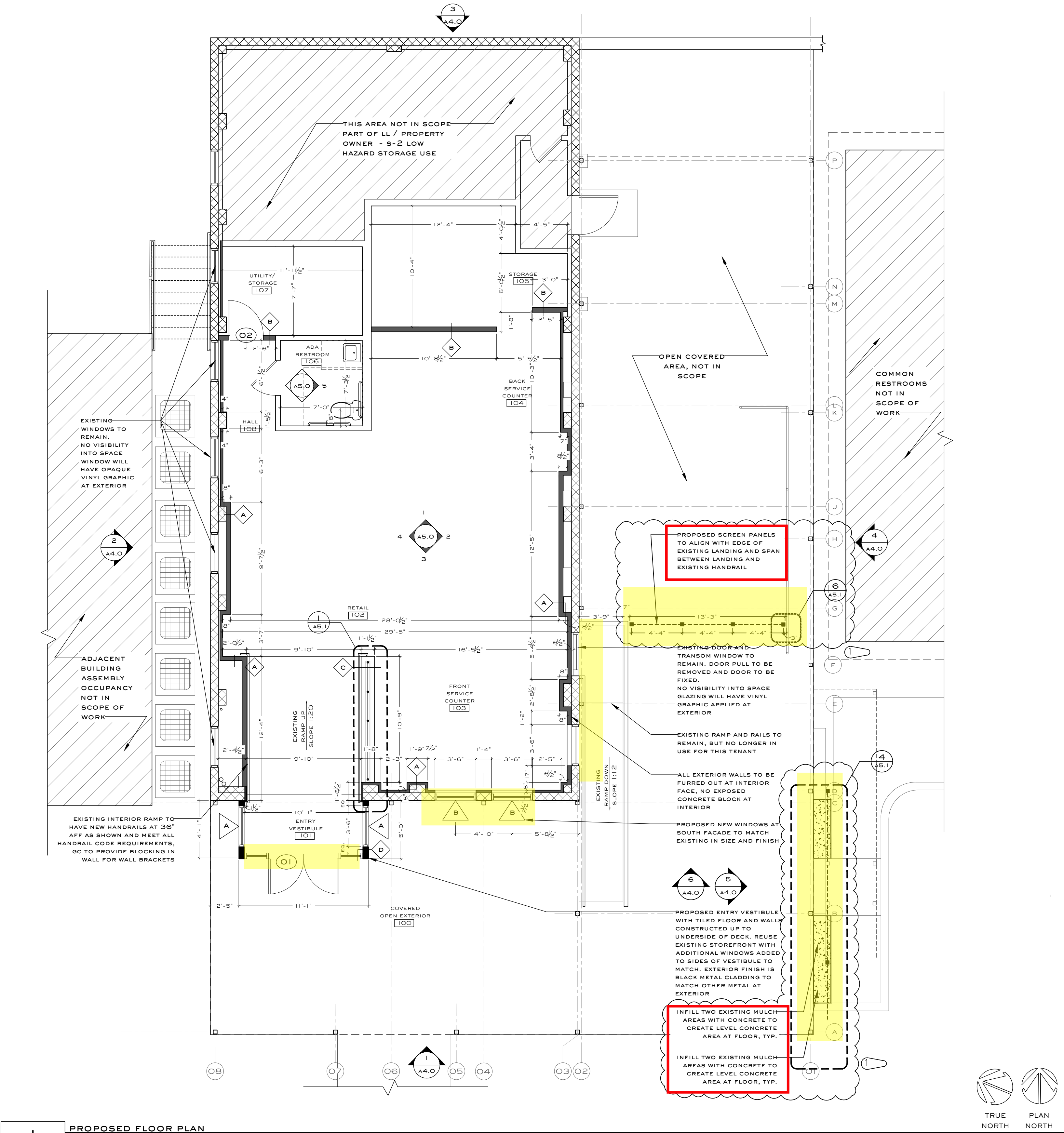
Sincerely,



Penn Hodge
Canton Mill Venture, LLC
Owner, The Mill on Etowah

GENERAL NOTES:

- DO NOT SCALE THESE DRAWINGS.
- THE INTENT OF THESE DRAWINGS IS TO INDICATE THE SCOPE OF WORK REQUIRED IN ORDER TO CONSTRUCT A COMPLETE AND FINISHED SPACE READY FOR TENANT OCCUPANCY. THE CONTRACTOR AND SUB-CONTRACTORS ARE EXPECTED TO VISIT THE PROJECT SITE PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT - PRIOR TO CONSTRUCTION - OF ANY DISCREPANCIES WITHIN THE DRAWINGS OR POSSIBLE CONFLICTS WHICH AFFECT THE PROGRESS OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF GYP TO FACE OF GYP, UNLESS NOTED OTHERWISE.
- VERIFY EXISTENCE OF FIRE ALARM AND DETECTION SYSTEMS. INCLUDE IN THE BID PRICE ANY WORK REQUIRED TO MODIFY EXISTING SYSTEM, IN ORDER TO COMPLY WITH LOCAL AND FEDERAL CODES - NO CHANGE ORDERS WILL BE ACCEPTED FOR ANY FIRE DETECTION OR ALARM SYSTEM MODIFICATIONS.
- WHERE NEW CONSTRUCTION JOINS EXISTING SURFACES MATCH AND ALIGN NEW FINISHES WITH THE EXISTING.
- SEAL ALL PENETRATIONS OF FIRE-RATED WALL ASSEMBLIES, IF APPLICABLE IN ACCORDANCE WITH H. U.I. FIRE-RATED PENETRATION DETAIL(S).
- PROVIDE FIRE EXTINGUISHERS HAVING A MINIMUM RATING OF 2-A, 10-B,C FOR EVERY 3000 SQUARE FEET OF FLOOR AREA. TRAVEL DISTANCE TO REACH AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. - MOUNT BOTTOM AT 2'-9 1/2" A.F.F. - EXISTING FIRE EXTINGUISHERS AND CABINETS MAY BE RECHARGED, REFURBISHED AND REINSTALLED IN THE APPROPRIATE LOCATIONS AS DIRECTED BY THE LOCAL FIRE INSPECTION OFFICIAL IN LIEU OF PURCHASING NEW EXTINGUISHERS, HOWEVER, IF REQUIRED CONTRACTOR WILL ALSO PROVIDE AND INSTALL NEW ADDITIONAL EXTINGUISHERS TO MEET CURRENT CODES.
- REFER TO MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK REQUIRED. LOCATIONS FOR MECH. ELEC. & PLUMBING FIXTURES SHALL BE AS SHOWN ON THE ARCHITECTURAL/INTERIOR FLOOR & CEILING PLANS
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL CODES AND RESTRICTIONS APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL BE USED ONLY BY THE SUPER-INTENDANT. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE SHALL BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND THE WORKERS AT ALL TIMES.
- INTERIOR STEEL FRAMED GYPSUM BOARD PARTITION DESIGN CRITERIA SHALL BE BASED ON ASTM C 754 STANDARD SPECIFICATION FOR INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE SCREW ATTACHED GYPSUM PANEL PRODUCTS, LATEST VERSION. ALLOWABLE DEFLECTION WITH A 5 PSF UNIFORM LOAD PERPENDICULAR TO THE PARTITION IS L/240. PARTITIONS WITH CERAMIC TILE FINISH SHALL HAVE AN ALLOWABLE DEFLECTION OF L/360.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE FOR COMPARISON WITH THE DRAWINGS AND PRIOR TO BIDDING, START OF, AND DURING CONSTRUCTION. NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS FOUND FOR CLARIFICATION BEFORE COMMENCEMENT OR RESUMPTION OF WORK.
- NO STRUCTURAL MEMBER SHALL BE NOTCHED, CUT, ALTERED OR MOVED IN ANY WAY WITHOUT PREVIOUS AUTHORIZATION IN WRITING FROM THE STRUCTURAL ENGINEER THROUGH THE ARCHITECT/OWNER.
- ALL COMMON INTERIOR WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES BETWEEN ADJACENT DWELLING UNITS AND OTHER TENANT SPACES, OR BETWEEN DWELLING UNITS MEET THE FOLLOWING MINIMUM REQUIREMENTS FOR SOUND TRANSMISSION WHEN NOT SPECIFICALLY NOTED ELSEWHERE ON THE DRAWINGS OR IN THE SPECIFICATIONS FOR (A) AIR-BORNE SOUND.(A) WHERE NOT SPECIFICALLY SHOWN IN THE DOCUMENTS, WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING, UNITS AND OTHER TENANT SPACES FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A MINIMUM SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E 90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING; ELECTRICAL DEVICES; RECESSED CABINETS; BATHTUBS; SOFFITS; OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATINGS. THIS REQUIREMENT SHALL NOT APPLY TO DWELLING UNIT ENTRANCE DOORS, EXCEPT FOR THE STC RATINGS SPECIFIED; SUCH DOORS SHALL BE TIGHT FITTING TO THE FRAME AND SILL AND CONTAIN SOUND SEALS
- WHERE DISCREPANCIES EXIST BETWEEN THE DETAILS AND THE STC RATINGS INDICATED OR REQUIRED, THE REQUIREMENTS FOR ACHIEVING THE DESIRED STC RATING FOR THE TYPE OF SPACE INDICATED SHALL GOVERN.
- ACOUSTIC INSULATION SHALL BE PLACED IN ALL WALLS SURROUNDING ROOMS WITH NOISE GENERATING DEVICES AND EQUIPMENT INCLUDED IN THE PROJECT SUCH AS: MECHANICAL EQUIPMENT AND PUMP ROOMS, ELEVATOR EQUIPMENT- MACHINE OR CONTROLLER ROOMS, ELECTRICAL TRANSFORMER AND SWITCHGEAR ROOMS, GENERATOR OR EMERGENCY GENERATOR ROOMS, TOILET ROOMS, CONFERENCE ROOMS, AND OFFICES LOCATED ADJACENT TO PUBLIC ASSEMBLY ROOMS OR TRAFFIC SPACES, AND ROOMS ELSEWHERE INDICATED ON THE PLANS.
- THE FOLLOWING MINIMUM STC RATINGS SHALL BE PROVIDED FOR THE ENCLOSURE OF THE FOLLOWING TYPES OF SPACES LISTED, UNLESS NOTED OTHERWISE IN THE DOCUMENTS TO BE HIGHER. WHERE TWO SPACES OF DIFFERING STC REQUIREMENTS OCCUR ADJACENT, THE MORE STRINGENT STC SHALL BE MAINTAINED.
A-MECHANICAL ROOM - STC 55
B-TOILET/RESTROOMS - STC 55
C-CONFERENCE ROOMS - STC 50
D-OFFICES - STC 45
- ELECTRICAL OUTLET BOXES LOCATED IN OPPOSITE FACES OF SOUND RATED WALLS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF 24". BACKS AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" MINIMUM RESILIENT SEALANT AND BACKED WITH 2" OF MINERAL FIBER INSULATION.
- PROVIDE A BEAD OF ACOUSTICAL SEALANT AT THE TOP AND BOTTOM OF ALL GYPSUM BOARD WALLS IN ACCORDANCE WITH ASTM C919. WHERE GYPSUM BOARD WALLS TERMINATE AT CURTAIN WALL OR OTHER WINDOW AND DOOR FRAMES OF DISSIMILAR MATERIALS PROVIDE A VERTICAL SEAL OF ACOUSTICAL FOAM TAPE. PERMANENT RESILIENT ACOUSTICAL SEALANT SHALL ALSO BE PROVIDED ALONG THE CLOSURE JOINT BETWEEN THE TOP OF CMU AND THE STRUCTURE ABOVE AT ALL SOUND SEPARATION WALLS. ADDITIONALLY AT ALL CMU VERTICAL JOINTS BETWEEN CONCRETE COLUMNS OR WALL TERMINATIONS TO CURTAINWALL OR OTHER WINDOW AND DOOR FRAMES OF DISSIMILAR MATERIALS PROVIDE THE ACOUSTICAL FOAM TAPE BEHIND THE SEALANT.
- PROVIDE ALL NECESSARY DUST-PROOF TEMPORARY PARTITIONS AND DOORS AND HARDWARE REQUIRED DURING CONSTRUCTION TO PREVENT DUST FROM ENTERING ADJACENT FINISHED AREAS.
- ALL EXISTING PIPING, DUCTWORK, CONDUITS, ETC., INTERFERING WITH THE INTENDED LIGHT FIXTURE LAYOUT ARE TO BE REROUTED AS REQUIRED AND A LINE ITEM BID COST IDENTIFIED FOR SUCH WORK.
- CONTRACTOR SHALL VERIFY CLEARANCES REQUIRED FOR ALL FIXTURES BEFORE ORDERING MATERIAL.
- ALL DRYWALL (GYPSUM WALLBOARD) CONSTRUCTION SHALL RECEIVE THE FOLLOWING JOINT & SURFACE TREATMENT. JOINTS IN FINISH ROOM SPACES SHALL RECEIVE COMPOUND AND TAPED LEVEL TO A "LEVEL 4" FINISH PER GA-214. EXTERIOR CORNERS SHALL RECEIVE METAL CORNER REINFORCED BEAD AND BE COMPOUNDED IN A CONVENTIONAL MANNER. NO HORIZONTAL JOINTS SHALL BE ACCEPTED UNLESS APPROVED BY OWNER. BUTTED, UNTAPERED GYPSUM BOARD JOINTS ARE UNACCEPTABLE EXCEPT WHERE SPECIFICALLY NOTED ON THE PLANS OR WHERE DESCRIBE IN THE SPECIFICATIONS TO RECEIVE LEVEL 1 OR 2 FINISHES. FULL HEIGHT GYPSUM BOARD SHEETS SHALL BE USED.
A. ALL NEW GYPSUM BOARD CONSTRUCTION SHALL BE PROPERLY PREPARED TO RECEIVE SPECIFIED FINISH MATERIAL IN A MANNER FULLY ACCEPTABLE TO THE OWNER.
B. ALL EXISTING DRYWALL SURFACES SHALL BE CAREFULLY EXAMINED TO ASSURE THEIR INSTALLATION SATISFIES THE ABOVE REQUIREMENTS. REMEDIAL WORK NECESSARY TO UPGRADE THESE SURFACES SHALL BE UNDERTAKEN.
C. TAPED JOINTS, CORNER BEAD "DIMPLES" OR SCREW HEADS SHALL BE TROWELLED SMOOTH AND LEVEL. USING JOINT COMPOUND, TO MATCH ADJACENT GYPSUM BOARD SURFACES. NO BULGING OR UNEVEN FINISHED GYPSUM BOARD WILL BE ACCEPTED.
- VERIFY THAT MECHANICAL, ELECTRICAL OR FIRE-PROTECTION DEVICES ARE NOT LOCATED ON WALLS DESIGNATED FOR BRANDING OR ACCENT PAINT.
- REFER TO SHEET A005 FOR WALL PARTITION TYPES
- COORDINATE WOOD BLOCKING WITH ALL OWNER PROVIDED MILLWORK AND EQUIPMENT.
- CONTRACTOR SHALL INSTALL OWNER PROVIDED SIGNAGE.
- WHERE PARTITIONS ABUT EXTERIOR WALLS OR WINDOW MULLIONS, INSTALL BUILDING SOUND Baffles IN AIR CONDITIONING SLOT DIFFUSERS.
- CONTRACTOR SHALL TEST ALL A/C AND PLUMBING FOR POSSIBLE LEAKS PRIOR TO THE REINSTALLATION OF CEILING TILES AND FINISHES TO ASSURE THAT THERE WILL NOT BE ANY UNFORESEEN WATER DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND RESTORING THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS AND ALL FIRE RATED CEILINGS ABOVE ACOUSTICAL CEILINGS. ANY MISSING PANELS, OPENINGS AND PENETRATIONS SHALL BE PROPERLY SEALED TO COMPLY WITH THE FIRE CODE.
- EXIT LIGHTS & EMERGENCY LIGHTING SHALL BE FURNISHED & INSTALLED AS REQUIRED BY LOCAL CITY BUILDING CODES. ALL EXISTING FIXTURES SHALL BE BROUGHT UP TO CODE AS REQUIRED.
- WHERE NEW DOORS ARE PROVIDED, OR ARE FURNISHED, THEY SHALL BE FINISHED TO MATCH EXISTING DOORS. EXISTING DOORS SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO RESEMBLE A LIKE NEW CONDITION.
- IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, SAME MUST BE APPROVED BY OWNER/ARCHITECT PRIOR TO PERFORMING SAID CHANGES OR MODIFICATIONS.
- PRIOR TO CUTTING INTO ANY EXISTING STRUCTURAL PORTION OF ANY BUILDING FOR NECESSITY OR EXPEDIENTY THE ARCHITECT SHALL BE NOTIFIED FOR CONSULTATION WITH STRUCTURAL ENGINEER TO DETERMINE REINFORCEMENT, SHORING, BRACING OR OTHER SUPPORT IS SATISFACTORY BEFORE PROCEEDING WITH THE WORK.



PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND

SCALE: NTS

- ELEVATION TAG
- DOOR TAG. SEE SCHEDULES
- WINDOW TAG. SEE SCHEDULES
- EQUIPMENT TAG. SEE MEP SHEETS
- WALL TYPE TAG. SEE SCHEDULES
- FLOOR FINISH TRANSITION. PROVIDE THRESHOLD AS REQUIRED

SHEET NOTES

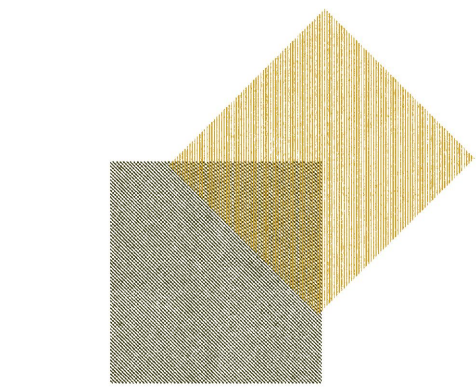
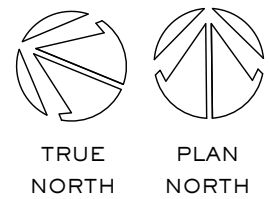
SCALE: NTS

- REF. ENGINEERING SHEETS FOR FIXTURE SCHEDULES.
- REFERENCE SHEET A05 FOR ALL DOOR, PARTITION AND FINISH SCHEDULES.
- REFERENCE ELECTRICAL, MECHANICAL AND PLUMBING ENGINEER SHEETS FOR ALL PLUMBING, ELECTRICAL, MECHANICAL AND KITCHEN EQUIPMENT SCHEDULES AND SPECS.
- PROVIDE BLOCKING IN CEILING AND/OR WALLS AS REQUIRED FOR CEILING / WALL MOUNTED MILLWORK, EQUIPMENT, TOILET & DECORATIVE ACCESSORIES, ETC.
- REF. SHEET E2.0 & A3.0 FOR CEILING AND LIGHTING INFORMATION
- REFERENCE ELEVATIONS ON A50 SHEETS FOR MORE INFORMATION
- PROVIDE THRESHOLD TRANSITIONS AS REQUIRED, THRESHOLDS TO NOT CHANGE IN HEIGHT MORE THAN 1/8" PER ADA
- FLOOR FINISHES TO EXTEND UNDERNEATH MILLWORK AND FURNITURE, TYP.
- ALL PLUMBING FIXTURES ARE SUPPLIED BY OWNER / KILWINS AND INSTALLED BY GC / PLUMBER

WALL LEGEND

SCALE: NTS

- NEW INTERIOR WALL
- EXISTING MASONRY WALL
- EXISTING WALL
- NOT IN SCOPE



BUNKER
DESIGN HOUSE

Maggie McBride, RA
e: maggie@bunker.design
p: 404.402.1316

Kandace Walker-Bunda
e: kandace@bunker.design
p: 646.401.2077



06.24.25

KILWIN'S
at The Mill on Etowah

Boathouse Building - Lower Level
225 Reformation Pkwy, #400
Canton, Georgia 30114

revisions:

no.	date	description
1	8.19.25	exterior revs

job number: 250210

date of issue: 06.24.25

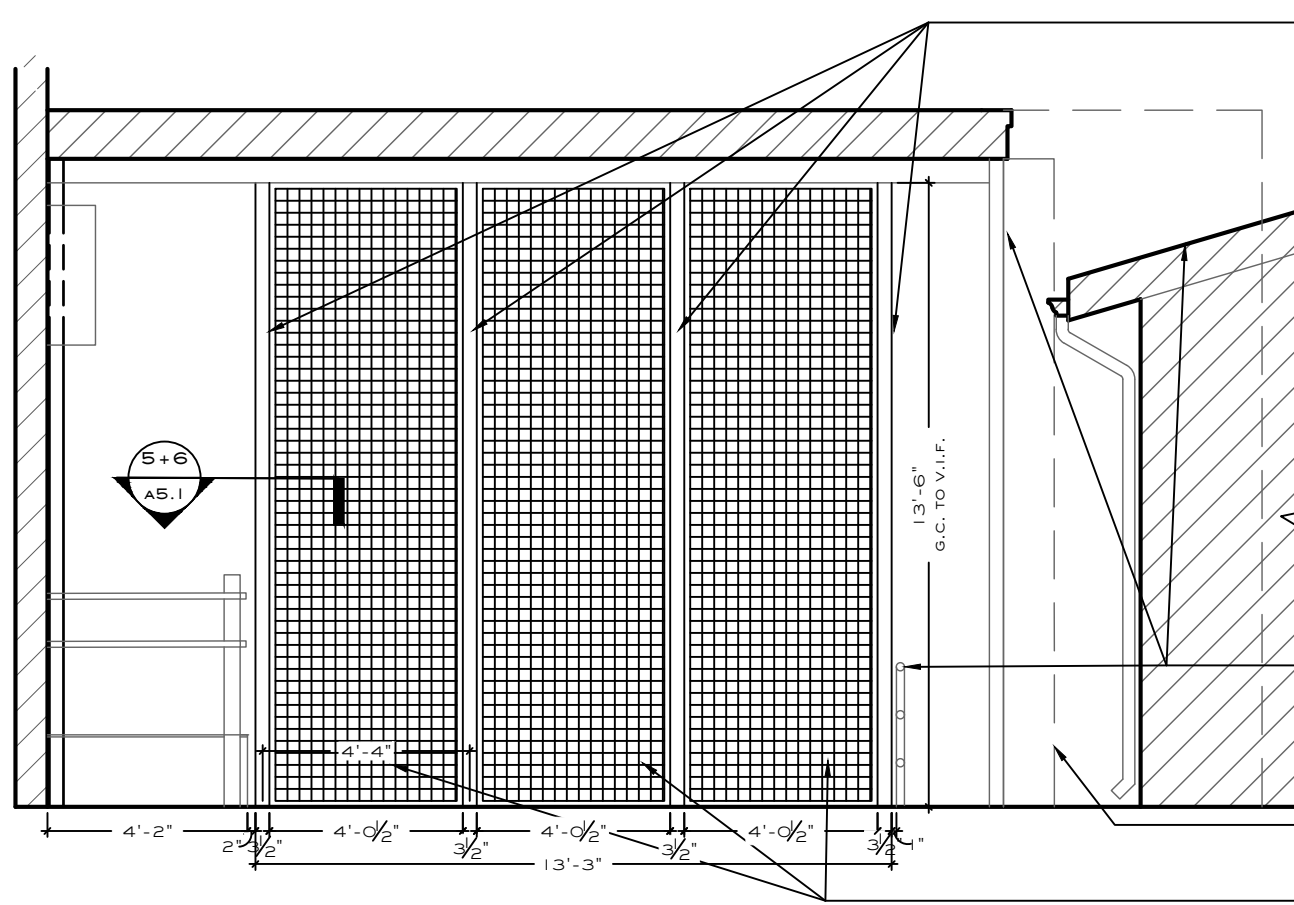
drawing name:

PROPOSED
FLOOR PLAN

drawing no:

A 2.0

RELEASED FOR CONSTRUCTION



NEW SQUARE STEEL TUBE COLUMNS THAT CREATE SHOWN 3-PANEL METAL SCREEN SYSTEM, SEE 6/A5.0 AND A5.1 FOR MORE DETAILS

COLUMNS HAVE BOTTOM PLATE AND ATTACHMENT AT TOP AS REQUIRED FOR STRUCTURAL STABILITY

COLUMNS TO MATCH EXISTING IN SIZE AND FINISH

PLATES, CHANNELS AND WWM SCREENS TO BE PAINTED TRICORN BLACK SW2663, TYP.

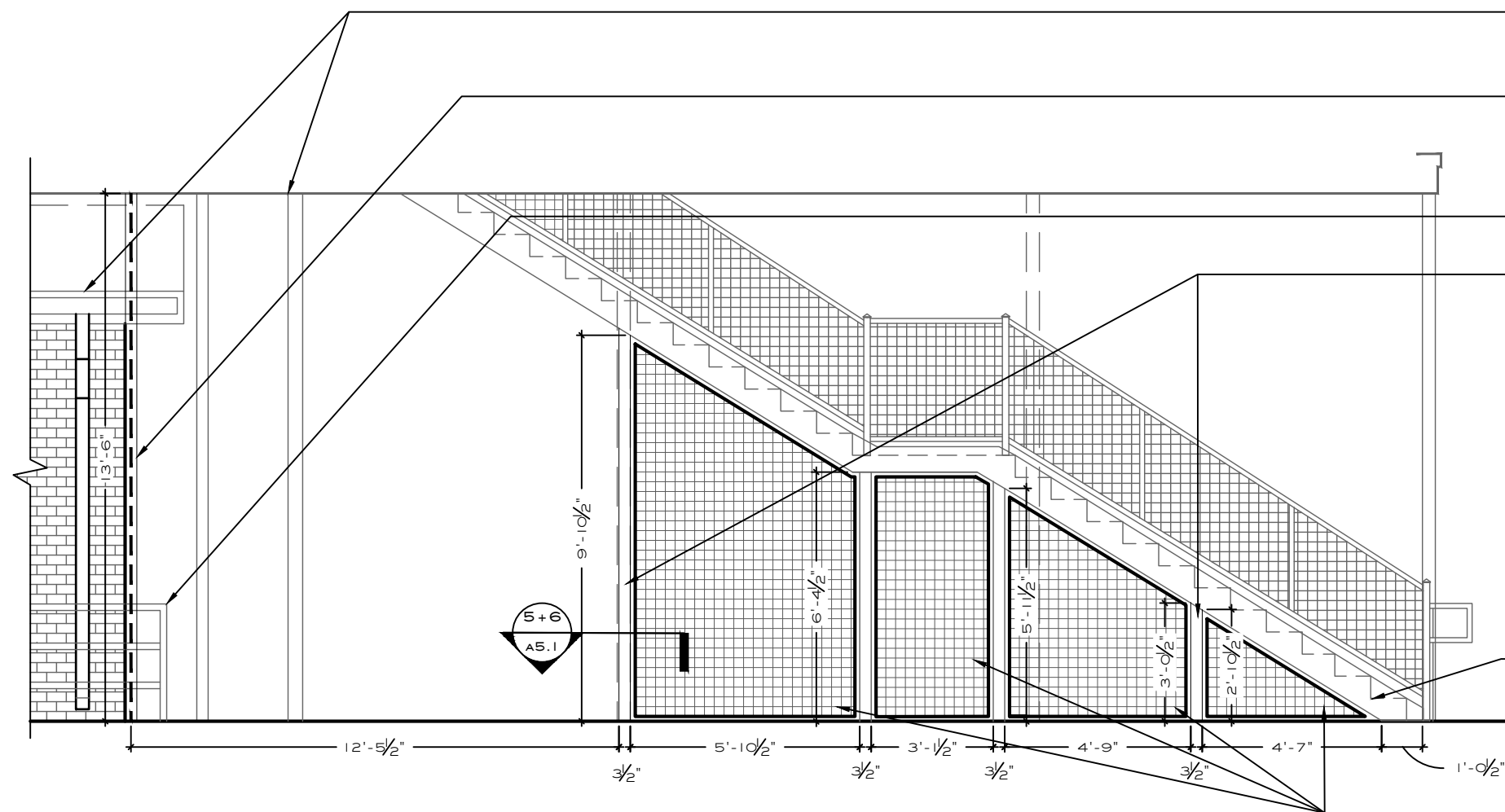
EXISTING LOW HANDRAIL, POSTS AND COMMON AREA RESTROOM STRUCTURE BEYOND TO REMAIN

EXISTING STAIR TO UPPER LEVEL TENANT

NEW BLACK WIRE MESH SCREENS WITH BLACK METAL CHANNELS ALONG PANEL PERIMETER, TYP.

6

PROPOSED ENLARGED EXTERIOR PATIO ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



EXISTING POSTS AND COMMON AREA RESTROOM STRUCTURE BEYOND

NEW STEEL POSTS WITH 3-PANEL SCREEN SYSTEM, SEE 6/A5.0 AND A5.1 FOR MORE DETAILS

EXISTING LOW HANDRAIL TO REMAIN

NEW BLACK SQUARE STEEL TUBE COLUMNS WITH BOTTOM PLATE, ATTACHMENT AT TOP AS REQUIRED FOR STRUCTURAL STABILITY

COLUMNS TO MATCH EXISTING IN SIZE AND FINISH

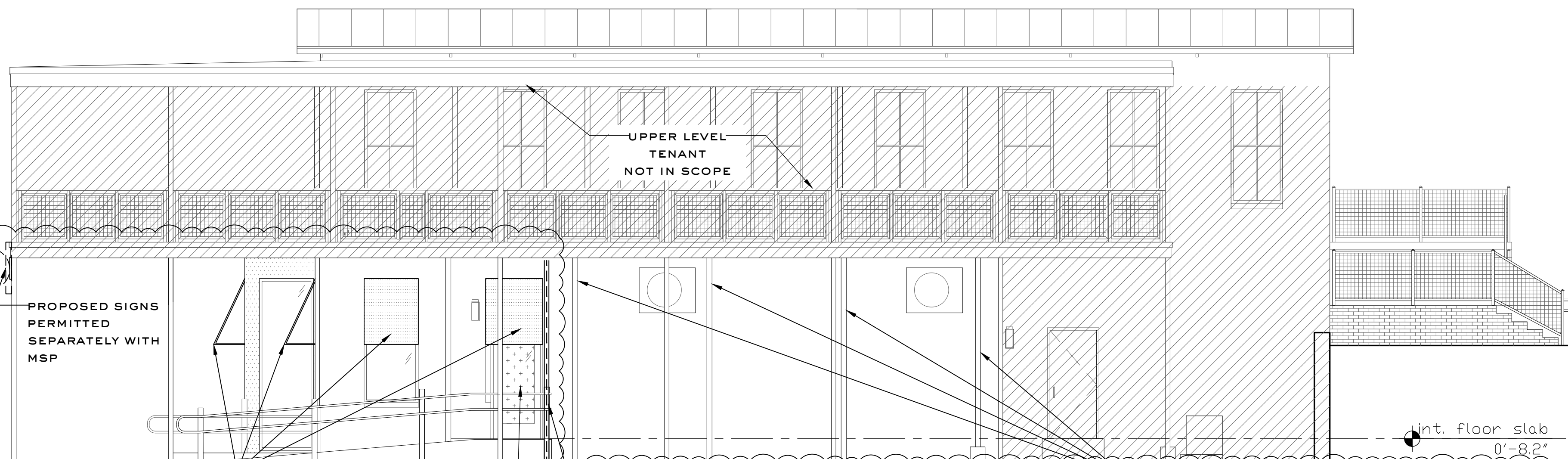
PLATES, CHANNELS AND WWM SCREENS TO BE PAINTED TRICORN BLACK SW2663, TYP.

EXISTING STAIR TO UPPER LEVEL TENANT LIMITED SCOPE IS CONNECTIONS TO UNDERSIDE OF STRINGER FOR POST AND CHANNEL, ALL FINISHES TO MATCH

NEW BLACK WIRE MESH SCREENS WITH BLACK METAL CHANNELS ALONG PANEL PERIMETER, TYP.

5

PROPOSED ENLARGED EXTERIOR PATIO ELEVATION - WEST
SCALE: 1/4" = 1'-0"



UPPER LEVEL TENANT NOT IN SCOPE

PROPOSED SIGNS PERMITTED SEPARATELY WITH MSP

PROPOSED FABRIC WINDOW AWNINGS AT WINDOWS SHOWN

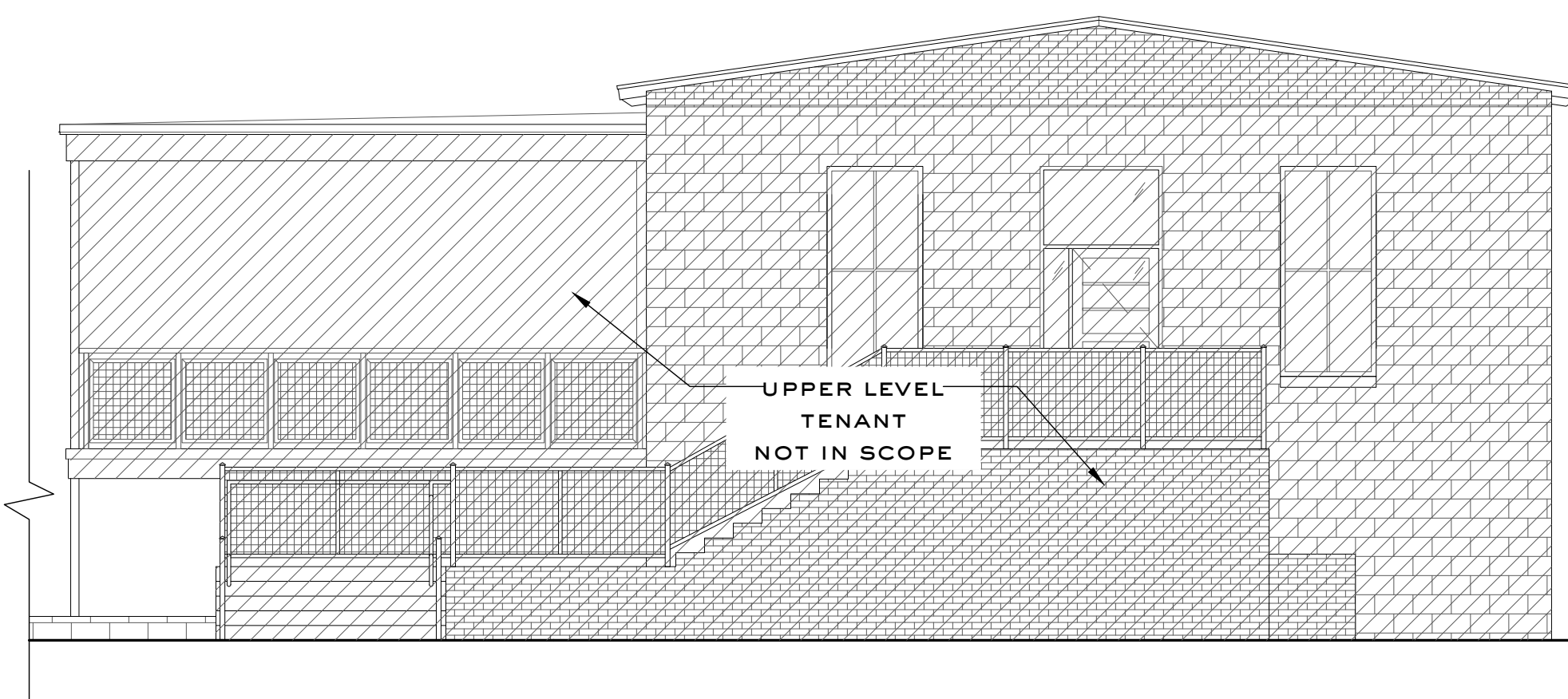
PROPOSED VINYL GRAPHIC AT EXISTING STOREFRONT DOOR, DOOR TO BECOME FIXED

PROPOSED METAL SCREEN SYSTEM TO SPAN BETWEEN CONCRETE FLOOR AND UNDERSIDE OF STEEL BEAM ABOVE, GC TO V.I.F. DIMS PRIOR TO SHOP DRAWINGS FROM FABRICATOR

ALL EXISTING COLUMNS THAT ABUT EXTERIOR WALL OF TENANT SPACE TO BE PAINTED THE SAME COLOR AS MASONRY WALL, SW7006 PURE WHITE, TYP.

4

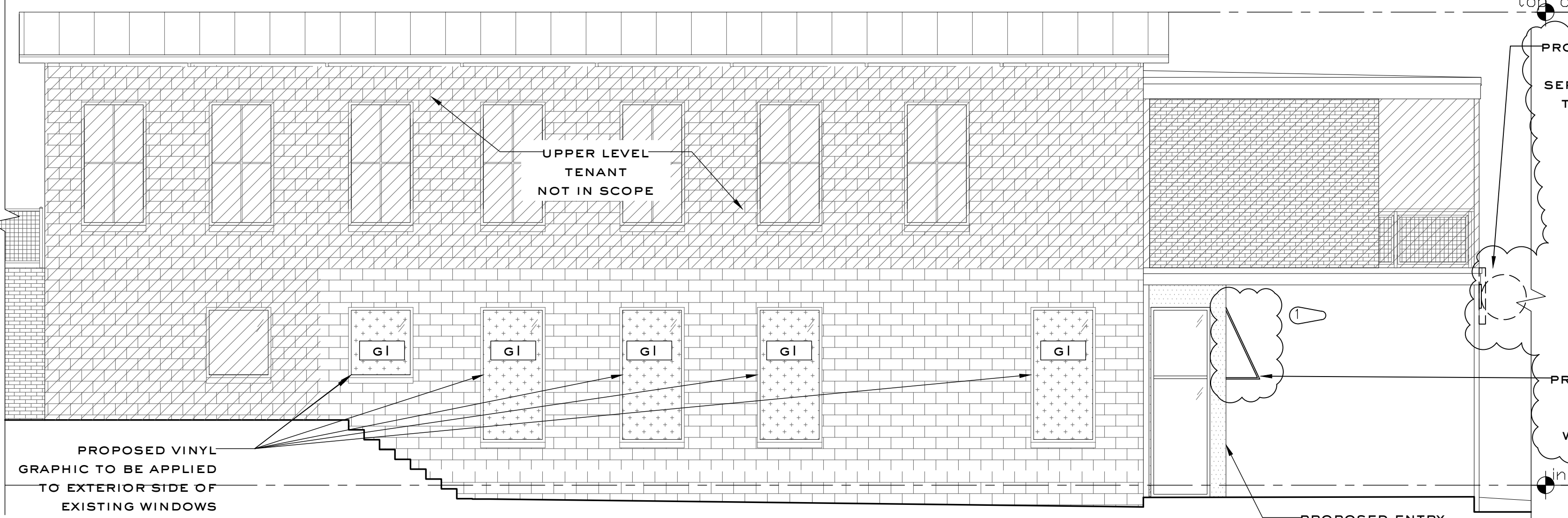
PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 3/16" = 1'-0"



UPPER LEVEL TENANT NOT IN SCOPE

3

PROPOSED EXTERIOR ELEVATION - NORTH - NOT IN SCOPE
SCALE: 3/16" = 1'-0"



UPPER LEVEL TENANT NOT IN SCOPE

PROPOSED VINYL GRAPHIC TO BE APPLIED TO EXTERIOR SIDE OF EXISTING WINDOWS TO OBSTRUCT VIEW OF INTERIOR

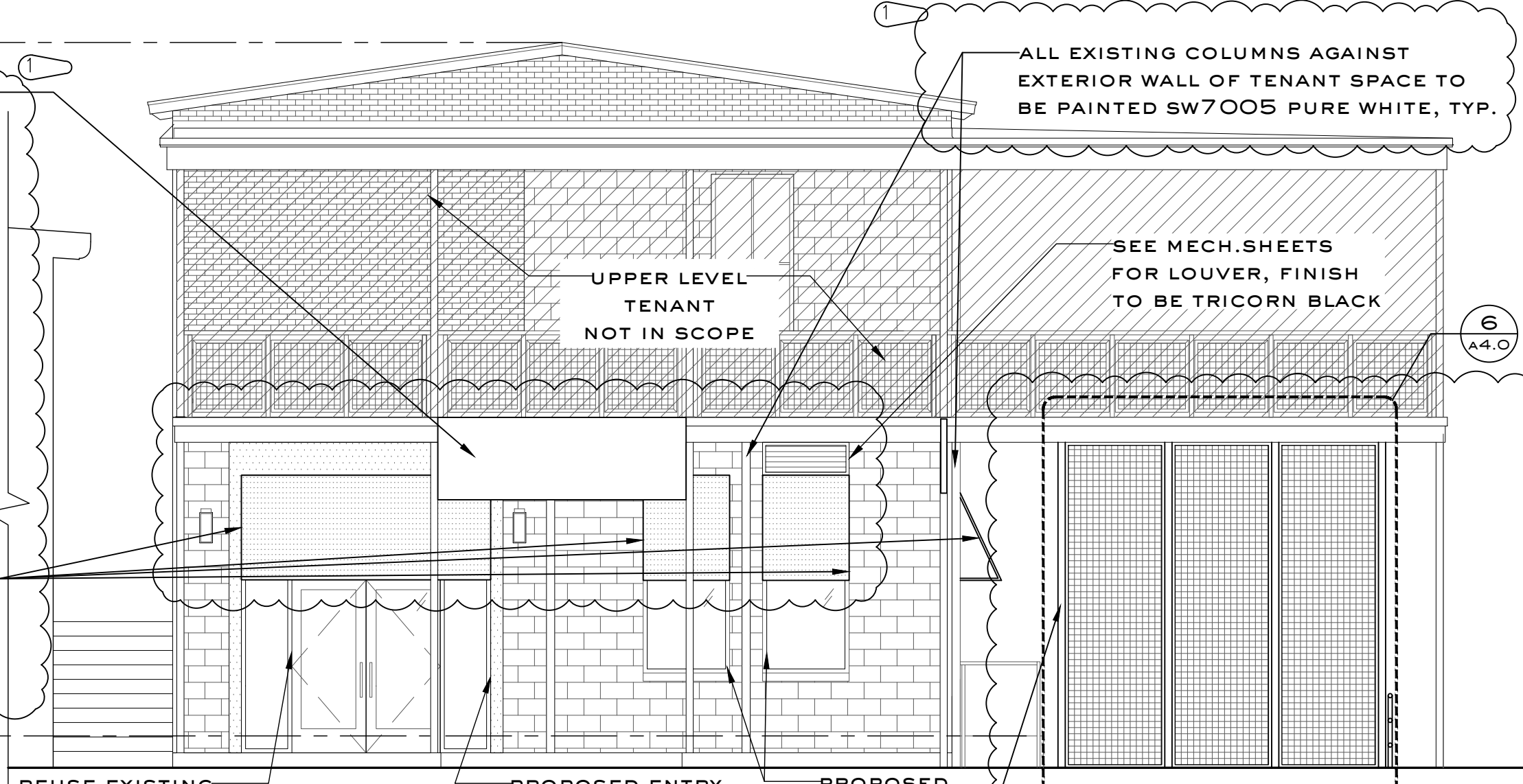
2

PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 3/16" = 1'-0"

top of structure 27'-3"
PROPOSED SIGNAGE PERMITTED SEPARATELY UNDER THE MASTER SIGN PLAN FOR THE PROPERTY

PROPOSED FABRIC WINDOW AWNINGS AT WINDOWS SHOWN

PROPOSED ENTRY VESTIBULE, CLAD IN METAL FINISH



ALL EXISTING COLUMNS AGAINST EXTERIOR WALL OF TENANT SPACE TO BE PAINTED SW7005 PURE WHITE, TYP.

UPPER LEVEL TENANT NOT IN SCOPE

SEE MECH.SHEETS FOR LOUVER, FINISH TO BE TRICORN BLACK

REUSE EXISTING STOREFRONT AT ENTRY

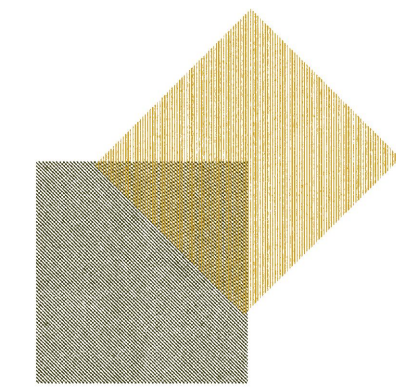
PROPOSED ENTRY VESTIBULE, CLAD IN METAL FINISH

PROPOSED WINDOWS MATCH EXISTING

PROPOSED METAL SCREEN SYSTEM BEYOND

1

PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



BUNKER
DESIGN HOUSE

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06.24.25

KILWIN'S
at The Mill on Etowah

Boathouse Building - Lower Level
225 Reformation Pkwy, #400
Canton, Georgia 30144

revisions:

no.	date	description
1	8.19.25	exterior revs

job number:

250210

date of issue:

06.24.25

drawing name:

PROPOSED
EXTERIOR
ELEVATIONS

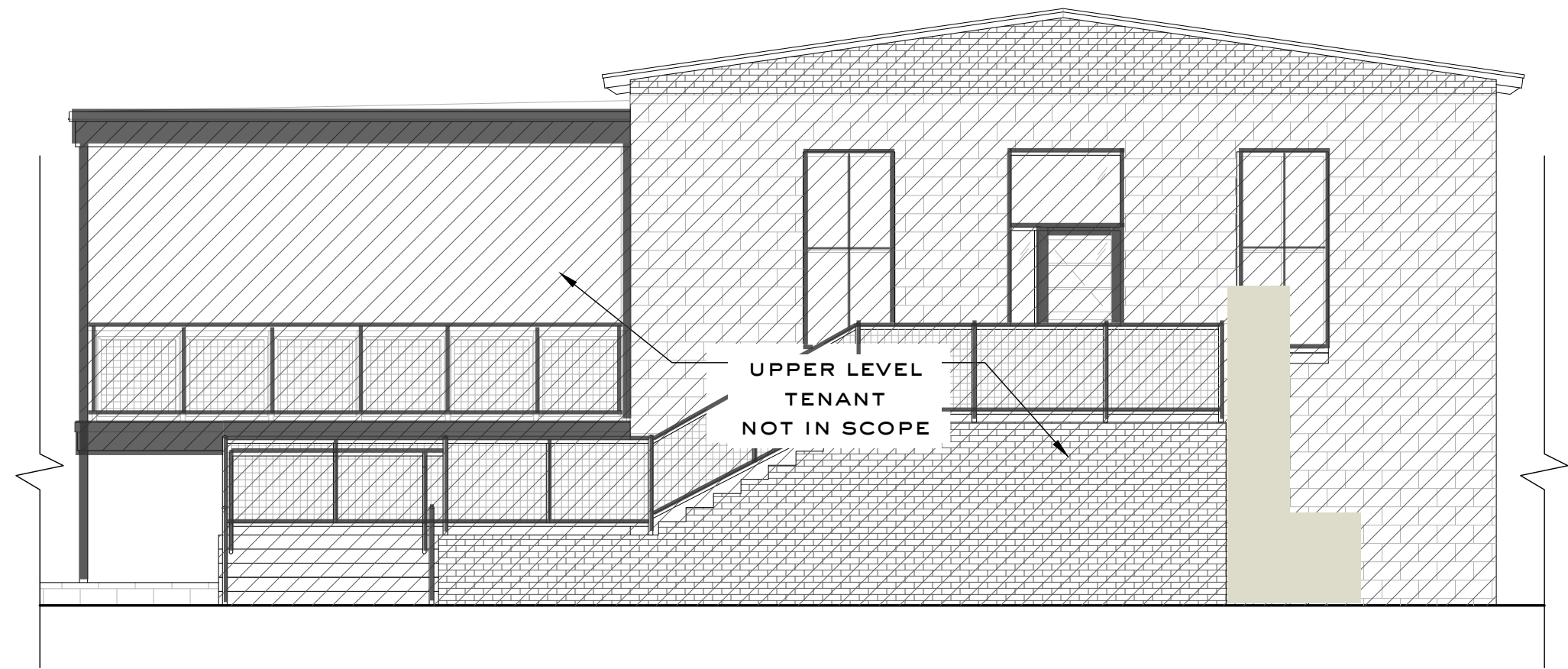
drawing no.:

A 4.0

RELEASED FOR CONSTRUCTION



4 PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 3/16" = 1'-0"



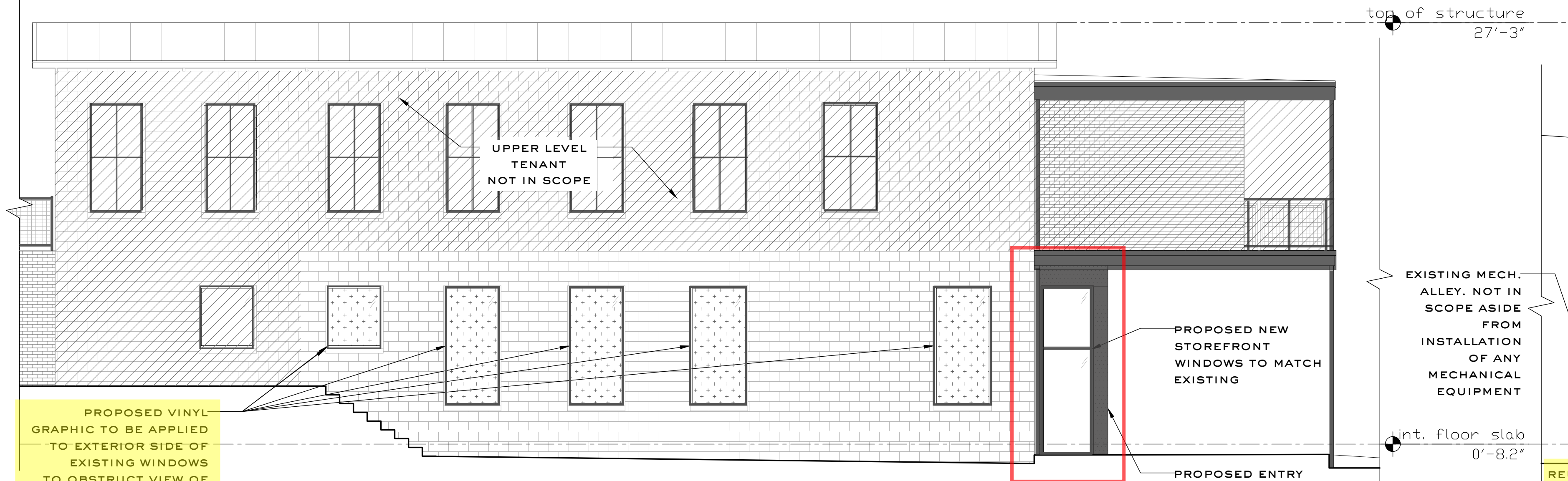
3 PROPOSED EXTERIOR ELEVATION - NORTH - NOT IN SCOPE
SCALE: 3/16" = 1'-0"

COLOR KEY

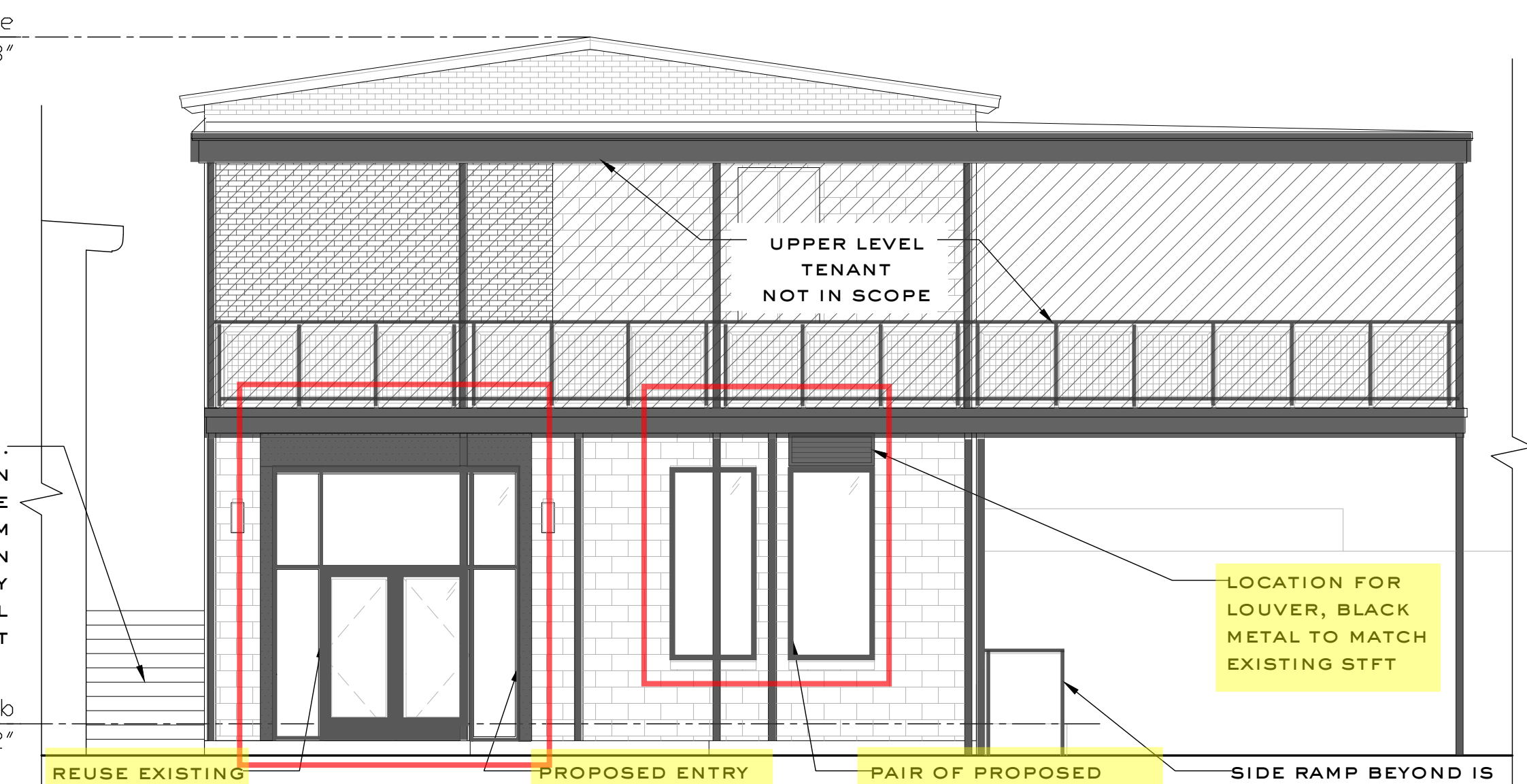
C1 SW 6530 Forest Blue Interior Paint Color Number 12B.13	C2 SW 6530 Forest Blue Interior Paint Color Number 12B.13	C5 SW 6530 Forest Blue Interior Paint Color Number 12B.13
C4 SW 6645 Tussock Interior Paint Color Number 12B.12	C3 SW 7005 Pure White Interior Paint Color Number 12B.14	C6 SW 6538 Tussock Black Interior Paint Color Number 12B.11

PAINT COLOR FOR ALL EXTERIOR WALL SURFACES MASONRY & THIN BRICK

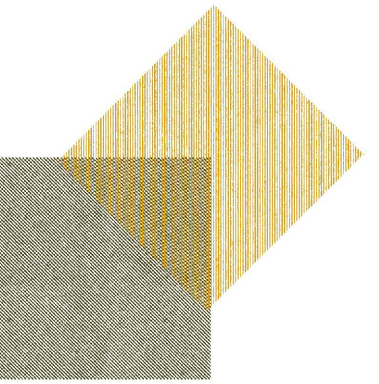
PAINT COLOR FOR ALL METAL, STOREFRONT, ETC.



2 PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 3/16" = 1'-0"



1 PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



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KILWIN'S
at The Mill on Etowah

Boathouse Building - Lower Level
225 Reformation Pkwy, #400
Canton, Georgia 30114

revisions:		
no.	date	description

job number: 250210

date of issue: 05.12.25

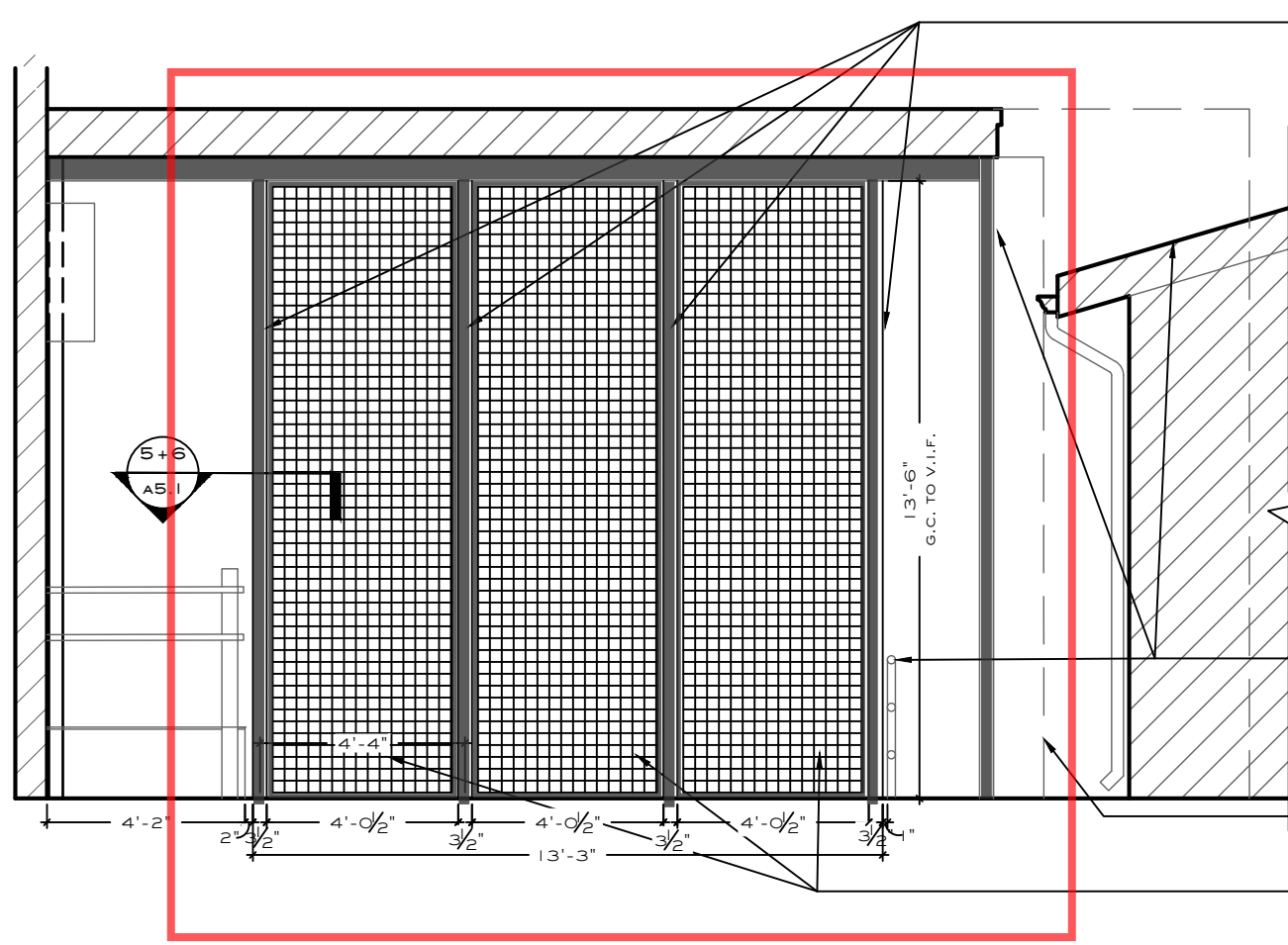
drawing name:

PROPOSED
EXTERIOR
ELEVATIONS

drawing no:

A 4.0

RELEASED FOR CONSTRUCTION



NEW SQUARE STEEL TUBE COLUMNS THAT CREATE SHOWN 3-PANEL METAL SCREEN SYSTEM, SEE 6/A5.0 AND A5.1 FOR MORE DETAILS

COLUMNS HAVE BOTTOM PLATE AND ATTACHMENT AT TOP AS REQUIRED FOR STRUCTURAL STABILITY

COLUMNS TO MATCH EXISTING IN SIZE AND FINISH

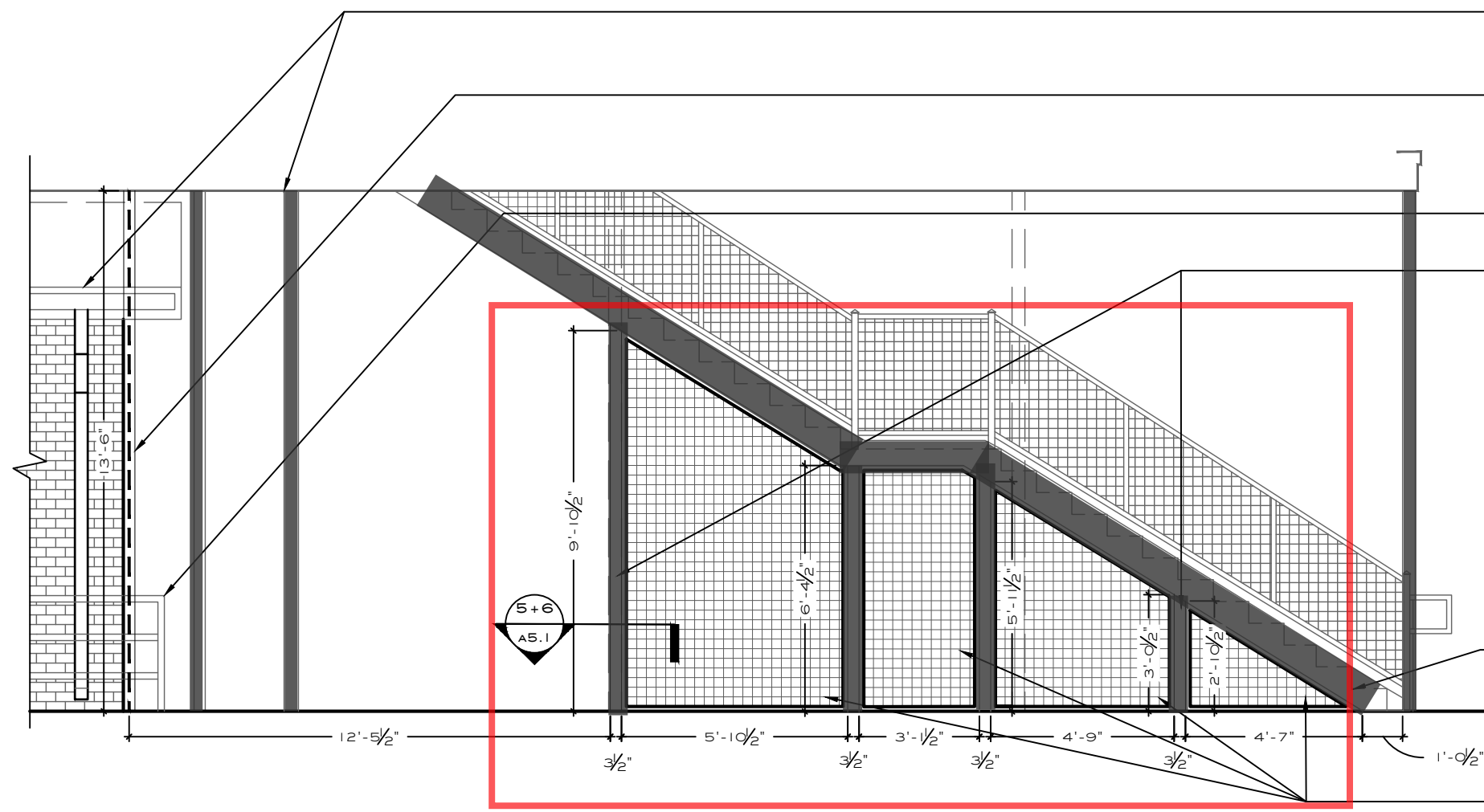
PLATES, CHANNELS AND WWM SCREENS TO BE PAINTED TRICORN BLACK SW2663, TYP.

EXISTING LOW HANDRAIL, POSTS AND COMMON AREA RESTROOM STRUCTURE BEYOND TO REMAIN

EXISTING STAIR TO UPPER LEVEL TENANT

NEW BLACK WIRE MESH SCREENS WITH BLACK METAL CHANNELS ALONG PANEL PERIMETER, TYP.

6 PROPOSED ENLARGED EXTERIOR PATIO ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



EXISTING POSTS AND COMMON AREA RESTROOM STRUCTURE BEYOND

NEW STEEL POSTS WITH 3-PANEL SCREEN SYSTEM, SEE 6/A5.0 AND A5.1 FOR MORE DETAILS

EXISTING LOW HANDRAIL TO REMAIN

NEW BLACK SQUARE STEEL TUBE COLUMNS WITH BOTTOM PLATE, ATTACHMENT AT TOP AS REQUIRED FOR STRUCTURAL STABILITY

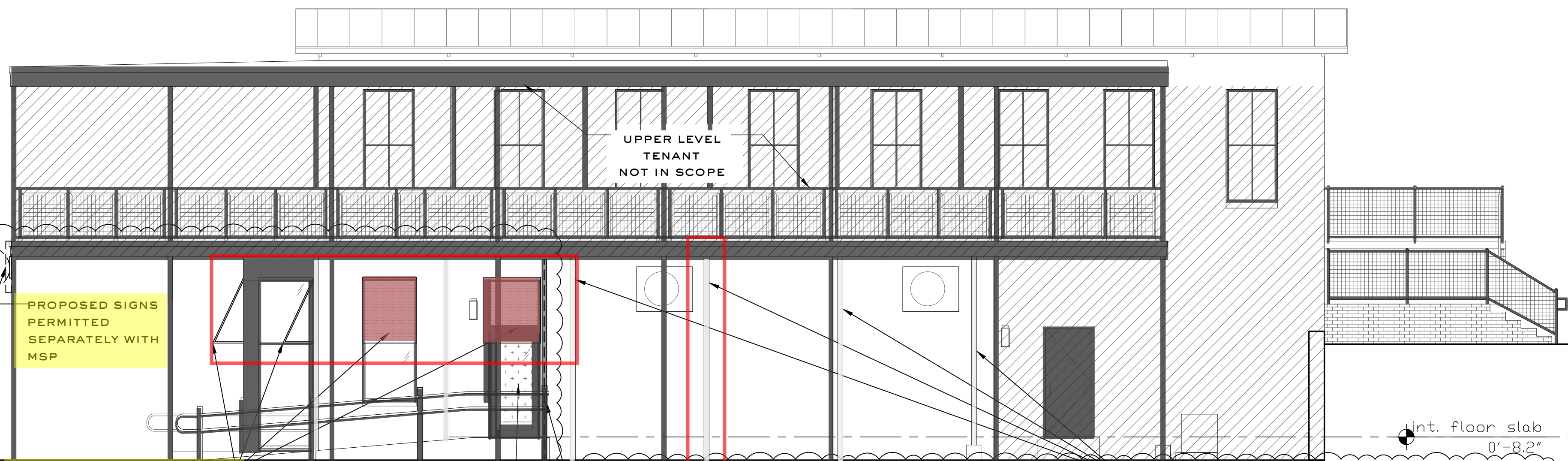
COLUMNS TO MATCH EXISTING IN SIZE AND FINISH

PLATES, CHANNELS AND WWM SCREENS TO BE PAINTED TRICORN BLACK SW2663, TYP.

EXISTING STAIR TO UPPER LEVEL TENANT LIMITED SCOPE IS CONNECTIONS TO UNDERSIDE OF STRINGER FOR POST AND CHANNEL, ALL FINISHES TO MATCH

NEW BLACK WIRE MESH SCREENS WITH BLACK METAL CHANNELS ALONG PANEL PERIMETER, TYP.

5 PROPOSED ENLARGED EXTERIOR PATIO ELEVATION - WEST
SCALE: 1/4" = 1'-0"



PROPOSED SIGNS PERMITTED SEPARATELY WITH MSP

UPPER LEVEL TENANT NOT IN SCOPE

PROPOSED FABRIC WINDOW AWNINGS AT WINDOWS SHOWN

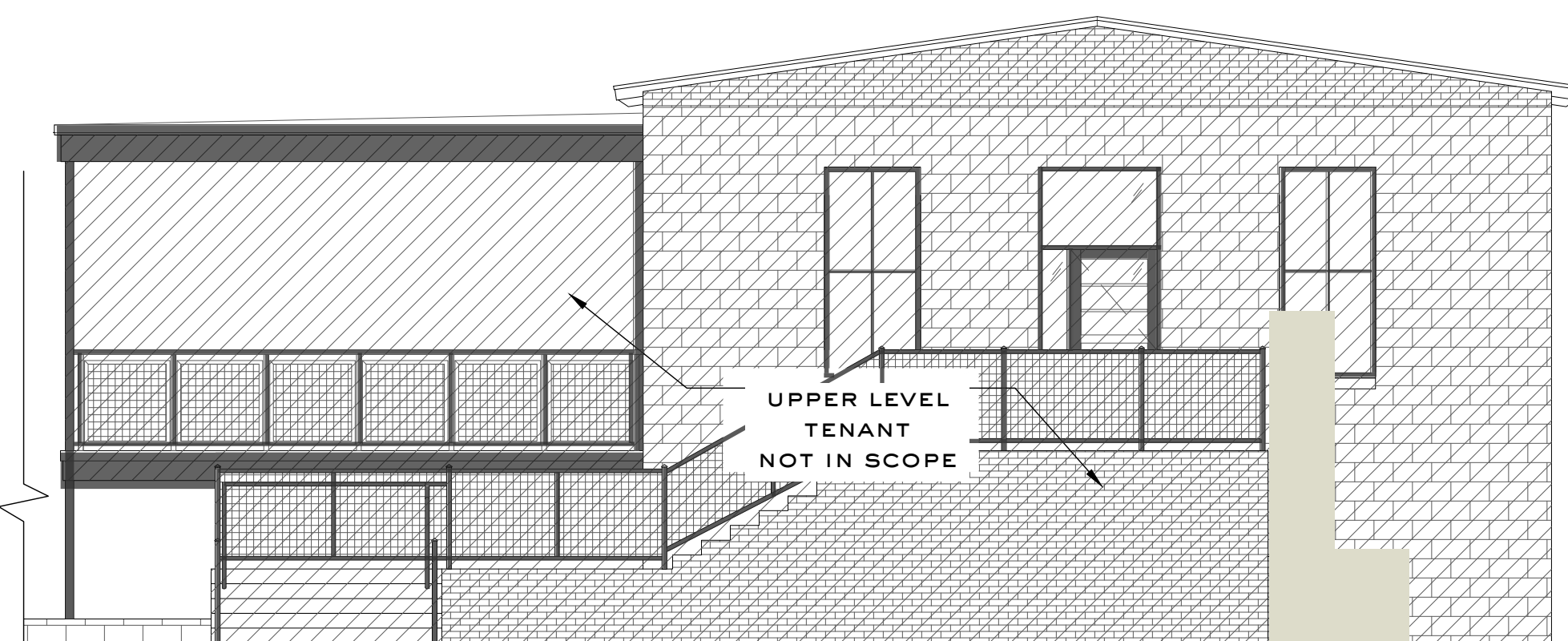
PROPOSED VINYL GRAPHIC AT EXISTING STOREFRONT DOOR, DOOR TO BECOME FIXED

PROPOSED METAL SCREEN SYSTEM TO SPAN BETWEEN CONCRETE FLOOR AND UNDERSIDE OF STEEL BEAM ABOVE, GC TO V.I.F. DIMS PRIOR TO SHOP DRAWINGS FROM FABRICATOR

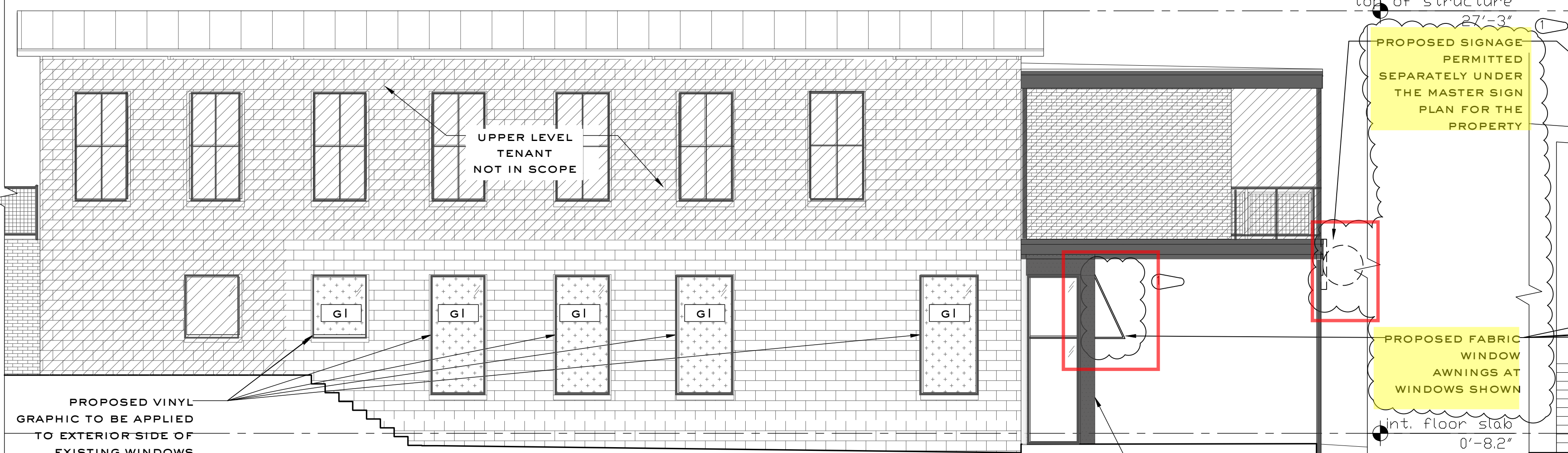
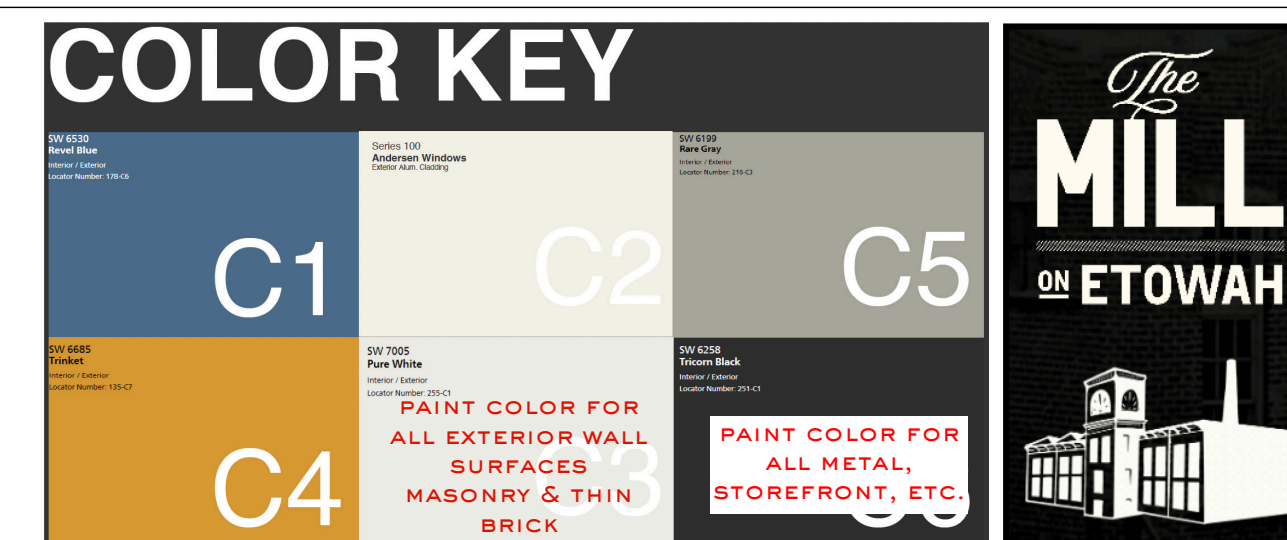
ALL EXISTING COLUMNS THAT ABUT EXTERIOR WALL OF TENANT SPACE TO BE PAINTED THE SAME COLOR AS MASONRY WALL, SW7006 PURE WHITE, TYP.

Int. floor slab 0'-8.2"

4 PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 3/16" = 1'-0"



3 PROPOSED EXTERIOR ELEVATION - NORTH - NOT IN SCOPE
SCALE: 3/16" = 1'-0"



UPPER LEVEL TENANT NOT IN SCOPE

PROPOSED VINYL GRAPHIC TO BE APPLIED TO EXTERIOR SIDE OF EXISTING WINDOWS TO OBSTRUCT VIEW OF INTERIOR

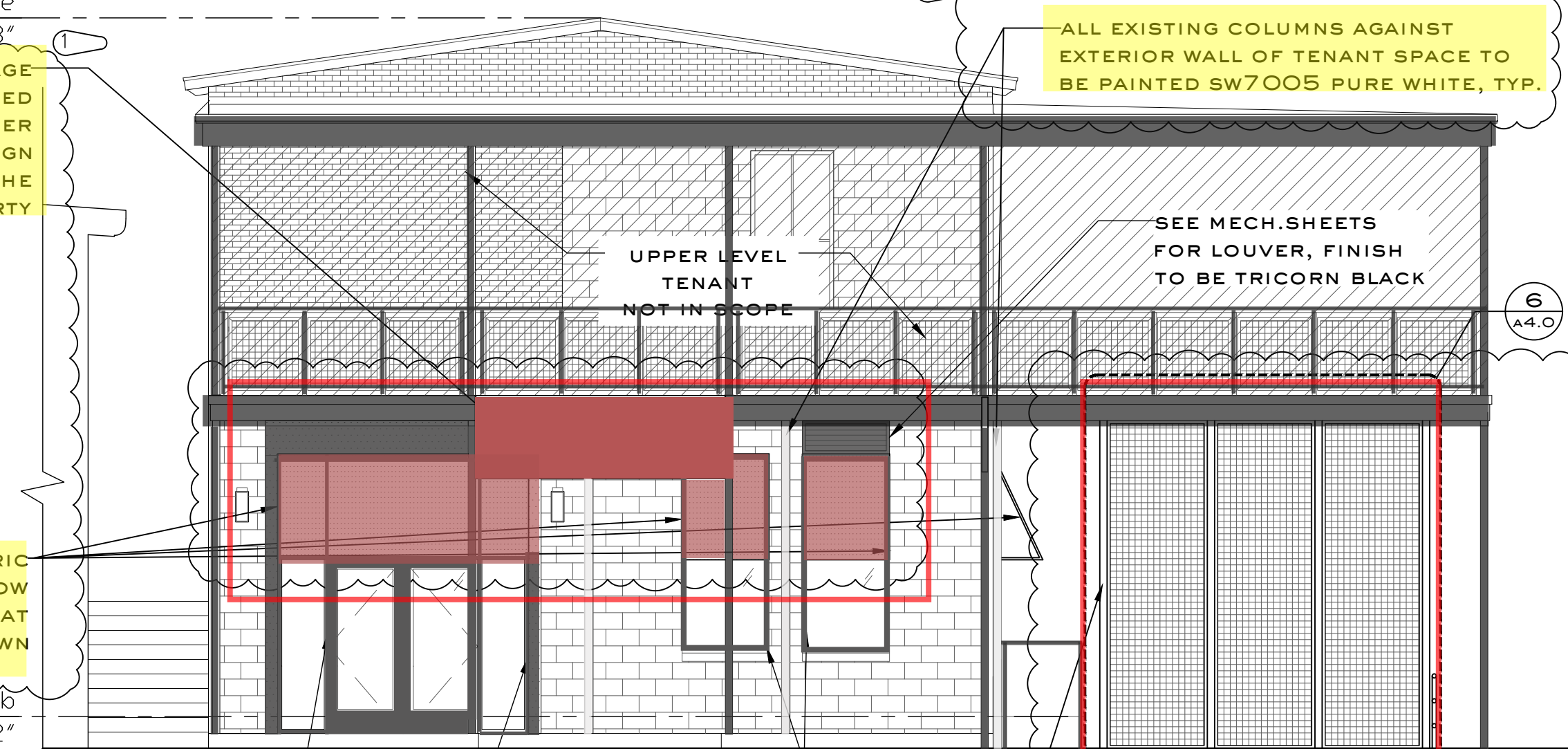
PROPOSED ENTRY VESTIBULE, CLAD IN METAL FINISH

PROPOSED FABRIC WINDOW AWNINGS AT WINDOWS SHOWN

top of structure 27'-3"

Int. floor slab 0'-8.2"

2 PROPOSED EXTERIOR ELEVATION - WEST
SCALE: 3/16" = 1'-0"



UPPER LEVEL TENANT NOT IN SCOPE

REUSE EXISTING STOREFRONT AT ENTRY

PROPOSED ENTRY VESTIBULE, CLAD IN METAL FINISH

PROPOSED WINDOWS MATCH EXISTING

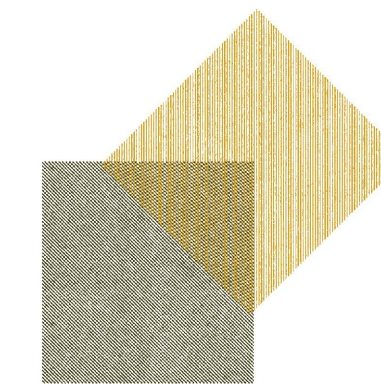
PROPOSED METAL SCREEN SYSTEM BEYOND

ALL EXISTING COLUMNS AGAINST EXTERIOR WALL OF TENANT SPACE TO BE PAINTED SW7005 PURE WHITE, TYP.

SEE MECH. SHEETS FOR LOUVER, FINISH TO BE TRICORN BLACK

6 (A4.0)

1 PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



BUNKER
DESIGN HOUSE

Maggie McBride, RA
e: maggie@bunker.design
p: 404.402.1316

Kandace Walker-Bunda
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p: 646.401.2077



KILWIN'S
at The Mill on Etowah

Boathouse Building - Lower Level
225 Reformation Pkwy, #400
Canton, Georgia 30144

revisions:		
no.	date	description
1	8.19.25	EXTERIOR REVS

job number: 250210
date of issue: 06.24.25

drawing name:

PROPOSED
EXTERIOR
ELEVATIONS

drawing no:

A 4.0

RELEASED FOR CONSTRUCTION

Canton, GA #297

- Kilwins Internally - Illuminated Sign
- Kilwins Internally - Illuminated Blade Sign
- Kilwins Panel Awning & Textural Filagree Pattern
- Kilwins Window Product Callouts & Window Coverup
- Kilwins Door Logos



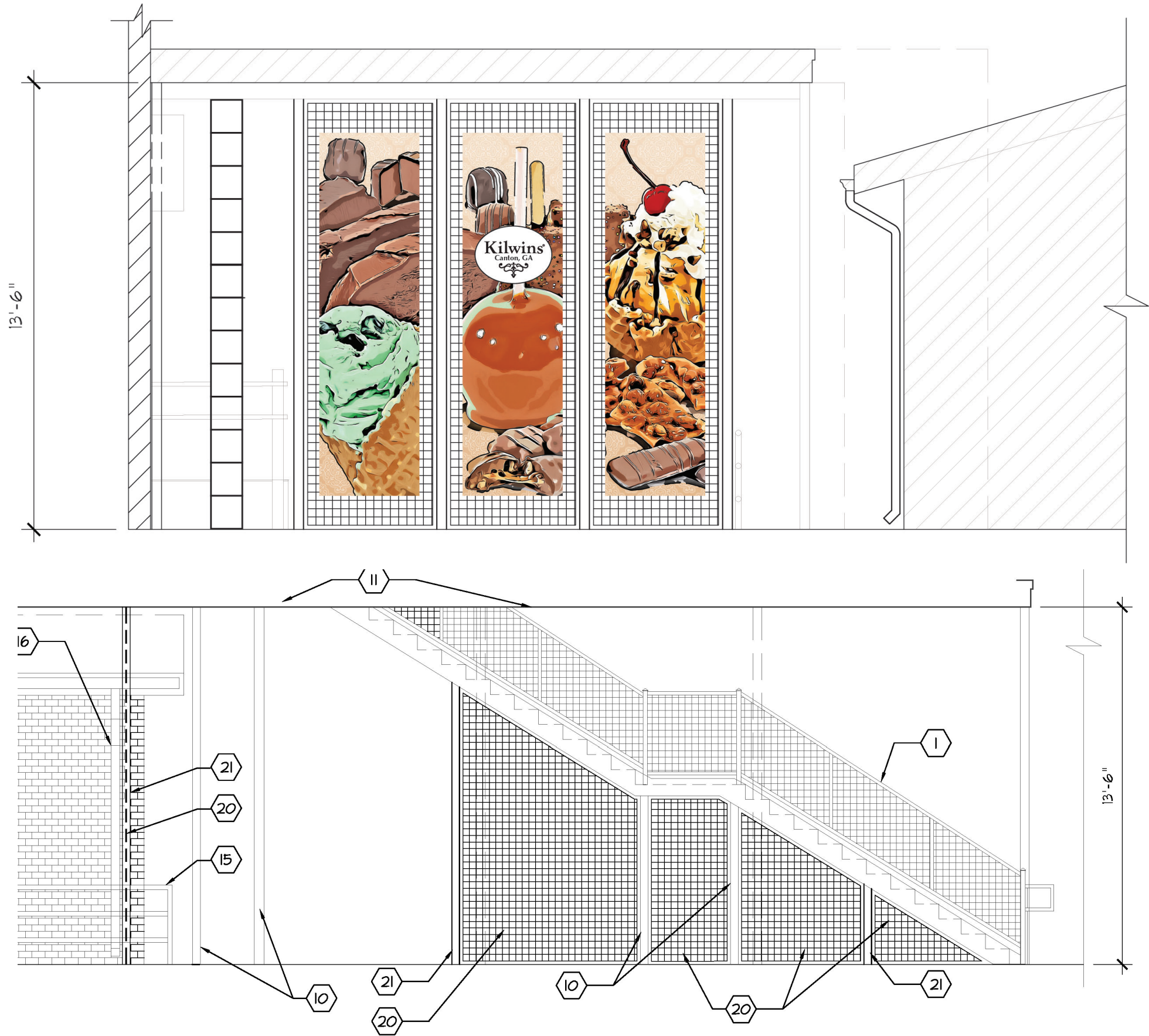
KILWINS: Canton, GA #296
ADDRESS: 225 Reformation PKW #400
REV: 5/9/25

*All changes to the approved Kilwins Storefront Exterior Plan must approved by the Kilwins Design & Brand in writing.
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Kilwins®

Canton, GA #297

- Kilwins Tryptic Artistic Mural
- Patio Black Wire Mesh Screen Detail



KILWINS: Canton, GA #296
ADDRESS: 225 Reformation PKW #400
REV: 5/9/25

*All changes to the approved Kilwins Storefront Exterior Plan must approved by the Kilwins Design & Brand in writing.
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Kilwins®

SCOPE OF WORK
1. FABRICATE AND INSTALL - PANEL AWNINGS

Survey Required



QTY : 1



16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
KILLWINS - #297

ADDRESS:
225 REFORMATION PKWY
STE 400, CANTON, GA 30114

DATE: 06/02/2025

PROJECT NUMBER:
ES16373

DESIGNER:
CHRISTIN R.

REVISIONS
R1: 06/10/25
DESIGN UPDATE
R2: 07/01/25
DESIGN UPDATE
R5: 08/04/25
DESIGN UPDATE

APPROVALS / DATE

CLIENT:

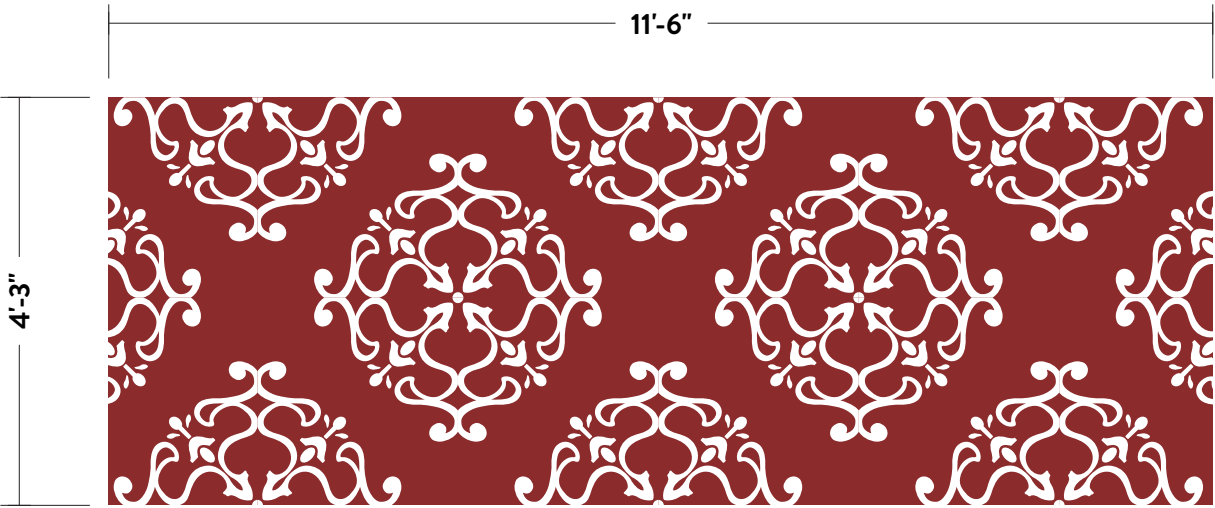
LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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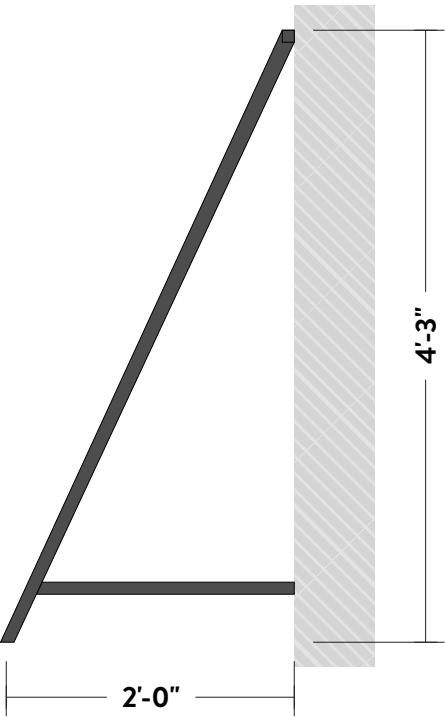
VERIFY ALL DIMENSIONS



QTY : 1

DESIGN
SCALE: 1/2" = 1' - 0"

VERIFY ALL DIMENSIONS



SPECS: BRANDED FABRIC AWNING
MATERIAL: SUNBRELLA AWNING FABRIC (OR EQUIVALENT)
COLOR: SOLID BURGUNDY (#4631)
GRAPHICS: WHITE
FRAME: 1" X 1" SQUARE TUBE FRAME
FRAME PAINTING: SEMI-GLOSS BLACK
OPEN SIDES

CROSS SECTION
SCALE: NTS

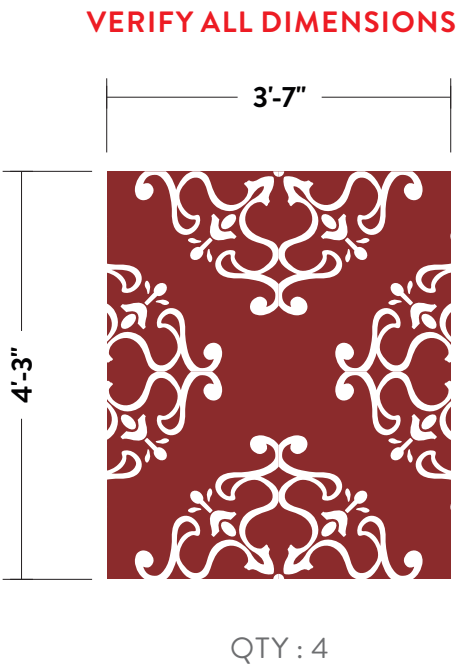
SCOPE OF WORK

1. FABRICATE AND INSTALL - PANEL AWNINGS

Survey Required

B2

QTY : 4

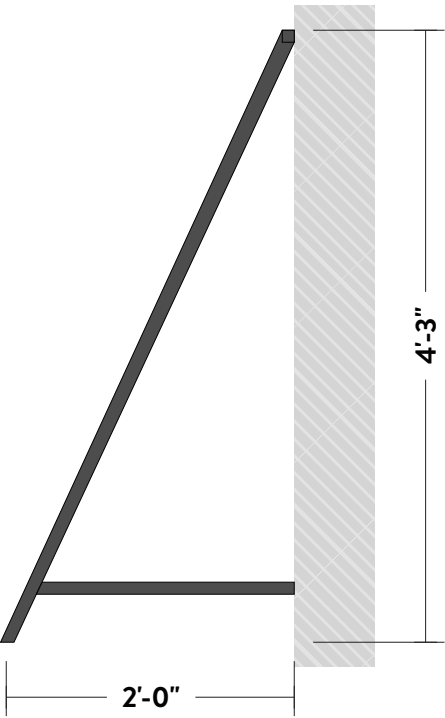


DESIGN

SCALE: 1/2" = 1' - 0"

SPECS: BRANDED FABRIC AWNING
MATERIAL: SUNBRELLA AWNING FABRIC (OR EQUIVALENT)
COLOR: SOLID BURGUNDY (#4631)
GRAPHICS: WHITE
FRAME: 1" X 1" SQUARE TUBE FRAME
FRAME PAINTING: SEMI-GLOSS BLACK
OPEN SIDES

VERIFY ALL DIMENSIONS



CROSS SECTION

SCALE: NTS


EZZI SIGNS
EST. 2005

16611 West Little York Rd
Houston, Texas 77084
EZZISIGNS.COM
713-232-0771

PROJECT:
KILLWINS - #297

ADDRESS:
225 REFORMATION PKWY
STE 400, CANTON, GA 30114

DATE: 06/02/2025

PROJECT NUMBER:
ES16373

DESIGNER:
CHRISTIN R.


REVISIONS
R1: 06/10/25
DESIGN UPDATE
R2: 07/01/25
DESIGN UPDATE
R5: 08/04/25
DESIGN UPDATE

APPROVALS / DATE

CLIENT:

LANDLORD:



 Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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