



HISTORIC PRESERVATION COMMISSION MEETING REPORT

FROM: Community Development Department
BY: Jakob Allen, City Planner
SUBJECT: **COA2602-014 – Design Request for Proposed Single-Family Detached New Construction**
DATE: 02/16/2026

RECOMMENDATION

Historic Preservation Commission to consider the Applicant's design request for a proposed single-family detached new construction at 238 West Marietta Street as submitted and guided by the City of Canton's Historic District Residential Design Guidelines.

DISCUSSION

The Applicant is seeking to build a single-family detached new construction as part of an eight-unit development at the intersection of West Marietta Street, East Marietta Street and Railroad Street. The proposed exterior materials are a combination of board and batten cementitious siding and horizontal cementitious lap siding, accented by a brick water table and / or brick retaining wall. The Applicant is proposing a white color palette with black and grey accents, including black-framed windows, a steel-framed front door, a metal roof and a flat metal awning to cover a composite wood front porch. All porches are surrounded with railings per life safety standards.

For additional information, please see the attached application.

RELEVANT HISTORIC GUIDELINES AND STANDARDS

The following standards ought to be considered when reviewing this project to ensure it follows the City of Canton's Historic District Residential Design Guidelines.

Building placement is important to ensure new buildings respect the established rhythm of development along a street. Along traditional commercial streets, such as Main Street, the continuous street wall of buildings establishes a visual character and frames the street. Along streets with residential buildings, following the established development pattern ensures new buildings respect the existing character. The following guidelines shall apply to building placement:

- 1) Align new construction with the setback and spacing of adjacent buildings. However, avoid using noncontributing, newer buildings as examples to follow when designing new construction projects.
- 2) Window size and placement, as well as storefront openings and height, should be consistent with surrounding historic building facades.
- 3) Locate on-site parking beside or behind buildings. Use side driveways and alleys to access parking areas.
- 4) Locate accessory structures such as garages, carports and sheds in side or rear yards, back from the front wall's plane.

Height and width create scale. Additionally, scale is the proportional relationship of height and width. The two scales that should be addressed in the historic district are the scale of buildings to one another and the scale of architectural features in relation to the building as a whole. When out of scale with their surroundings, or when their individual features do not have proper proportions, buildings appear out of context with their surroundings. The following guidelines shall apply to height, width and scale:

- 1) Design new construction to be similar in height, width and proportions to surrounding historic buildings. For new buildings that are wider than existing buildings, the primary façade should be divided into bays that reflect the predominant width.
- 2) Limit the number of stories to be equal to adjacent structures on either side, or no greater than, two stories greater than the tallest adjacent building. Additional stories are not appropriate if the building appears out of scale with surrounding buildings.
- 3) Building façades should reinforce a human scale. They should not have blank walls (meaning, no openings). Large blank walls or architectural features can make a pedestrian feel small and uncomfortable. Breaking up building facades with architectural details and frequent openings can provide human scale to the face of a building – making pedestrians feel more comfortable next to a building.

Once the form and building placement is established for a new building - including accessory structures - its appearance should be refined so that architectural elements such as materials, size and placement of openings, trim, cornices and other decorative features are compatible with the broader context. The following guidelines shall apply:

- 1) Design building style and features (including roof form) to be compatible with those of surrounding historic buildings. However, designing a building to exactly replicate neighboring historic buildings is discouraged.
- 2) Design the building façades so there are no blank walls.
- 3) Use unpainted brick as the predominant exterior material.
- 4) Use simple color schemes: neutral or earth tone hues for the building surface, and colors that match or complement the dominant neutral building material of the structure for the cornices and framing.
- 5) Refer to Chapter 5 for guidance on appropriate treatments for specific building features.

Outdoor patios and porches can be great amenities for a building. They can expand seating space for restaurants, create a greenspace element or enliven a street with activity. However, they should be designed in context with surrounding buildings and should not conflict with the architecture of the building. The following guidelines shall apply:

- 1) Do not add a porch to front or side façades of commercial buildings where none originally existed.
- 2) Design the porch to be consistent with the architecture of the principal building.
- 3) Storefront, or "façade", patios may be added if they do not replace historic storefronts. The design should be compatible with original entrances.
- 4) Do not permanently enclose or alter the design of original porch or house foundation walls.
- 5) Situate downspouts along porch supports (or along the edges and corners of buildings) to create minimal visual disruption.
- 6) Do not enclose or fill in front porches or historic side porches that are visible from the street, with the exception of screening (as long as it is installed on the inner plane of the columns and inner side of balustrades).
- 7) Design handicap ramps to incorporate elements of the primary façade, such as continuation of a porch balustrade along the length of the ramp. Locate ramps to the side of rear of the building, where feasible, and respect the architectural style, materials and scale of the principal building.

Doors are often the primary focal point of entrances and serve as a functional and ceremonial element of a storefront. Because of their importance, they require special maintenance and treatment. The following guidelines shall apply to the treatment of doors:

- 1) Retained, restore and maintain original doors.
- 2) If replacement parts are necessary, replace with parts that match original materials and architectural style of the building.
- 3) If replacement of original doors is necessary, replace with custom commercial doors. Residential doors are not appropriate for commercial storefronts and should not be used. Generally, 80% of a commercial door is glass and should match the treatment of display windows.
- 4) If a residential house has been converted to a commercial business, use residential door types. Commercial doors are not appropriate.

Windows are an important element of any building. They add light to the interior of a building, provide ventilation and are a visual link to the outside. They are also an important part of the architectural form and style of buildings. The following guidelines shall apply to the treatment of windows:

- 1) Retain, restore and maintain original windows.
- 2) If replacement parts are necessary, replace with hardware that matches original materials and the architectural style of the building.
- 3) If complete replacement of original windows is necessary, replace with custom replacement windows. Do not replace windows with stock replacement windows, as they often do not fit original openings or require infill casing to make the replacement window fit.
- 4) Uncover and repair windows that are covered-up or in-filled with blocks. If the window is no longer needed, glass should be retained so that it appears from the outside to be in use.
- 5) Windows should have a vertical proportion of height to width.
- 6) Improve thermal efficiency with weather stripping, storm windows, caulking and interior shades.
- 7) Do not cover up or fill in existing windows. The front and sides of buildings should not have blank walls (meaning, no openings).

- 8) Retain and repair (rather than replace) original balconies and fire escapes below windows. If existing landings and railings are too deteriorated, replace with in-kind skeletal assembly to match the historic features.

Roofs serve as functional elements of buildings as well as an decorative features. Functionally, a roof protects the interior of a building from natural elements. This is especially true for managing rain water, as a roof helps direct the water away from a building. Architecturally, a roof provides a decorative accent to the top of a building. To manage both the functional and architectural significance of roofs, the following guidelines shall apply:

- 1) For existing buildings, preserve the original roof shape, structure, pitch and materials.
- 2) Retain and repair original roof materials. If replacement of original materials is necessary, new roof materials should match as closely as possible the texture, color, design and composition of the original materials.
- 3) New roofs should respect the slope and form of adjacent buildings along a street. Commercial buildings typically have shallow shed roofs concealed behind roof cornices and/or parapet walls. Residential buildings typically have pitched roofs, such as a gable or hipped roof.
- 4) Do not install a new roof over an existing roof. Additionally, do not install a new roof that covers or overlaps the parapet wall.

Landscaping varies depending on the character and uses of an area. In commercial areas, such as along Main Street, landscaping on private lots is typically in the form of planters. In residential areas, landscaping is typically a mixture of trees, shrubs, grass and non-vegetative decorative features. The following guidelines shall apply:

- 1) Retain existing trees and plants that define the character of the historic district. Replace diseased or dead plants with native species.
- 2) Repeat the established streetscape design in terms of landscaped borders and screening heights when planting new landscaping.
- 3) Use trees as frequently as possible. They provide shade, help establish edges and mass to a site, and are a source of character for both residential and non-residential areas.
- 4) Use trees and other plants that grow well in southern urban environments.
- 5) Freestanding decorative features such as gazebos, pergolas, fountains or ponds are suitable in rear yards unless there is historic evidence of similar previous existing elements in front or side yards.

ATTACHMENTS – COA2602-014 Application



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # _____ (staff only)

- Application Requirements:** All applications must be complete and include required support materials (listed on the reverse side of this application form). Incomplete applications will not be forwarded to the Canton Historic Preservation (HPC) for review. The applicant must submit the application and all supporting materials as the appropriate building permit option using the online permitting and licensing portal found here: <https://canton.onlama.com/>. For signs, submit the application and all supporting materials as a sign permit using the online permitting and licensing portal found here: <https://canton.onlama.com/>.
- Application Deadline:** Applications and support materials must be submitted fifteen (15) business days prior to the regular HPC meeting. Applications must be submitted to the Community Development Department.
- Application Representation:** The applicant or authorized representative of the applicant must attend the HPC meeting to support the application.
- Building Permit Requirements:** In addition to a COA application, building permits may be required from the Building Department. Building permits will not be issued without proof of a COA.
- Deadline for Project Completion:** After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
- Local Resources:** [The Canton City Map](#), [The Canton Historic District Design Guidelines](#), and [The Canton Historic District Residential Design Guidelines](#) provides a boundary map of the Canton Historic District, a design review process flowchart and a list of projects that require review and approval (administrative review by Community Development Department staff or review by the Canton HPC). The Guidelines are available at City Hall and on the City of Canton website.

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN THE APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE.

Contact Information:

Applicant Name*: PIEDMONT LAND GROUP OF GEORGIA LLC Telephone: 4703713380

Email: vtorres.gamesa@gmail.com

Mailing Address: 5025 Deen Rd, Marietta, Ga. 30066

*NOTE: If the applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include the owner's telephone number and mailing address.

Property Information:

Address: 184, 188, 192, 196 Railroad Sr, 238, 242, 246, and 250 W Marietta St. Canton, Ga.

Land Lot(s): LOT 1-8

District/Section: _____ Map #: _____ Parcel #: _____

Zoning: CBD Present Use: Single-family detached dwelling

Scope of Work: (Check all that apply)

STAFF REVIEW:		HPC REVIEW:	
<input type="checkbox"/> Removal of non-historic detached structure	<input type="checkbox"/> Installation of screen or storm doors	<input type="checkbox"/> Addition	<input type="checkbox"/> Signs
<input type="checkbox"/> Maintenance of / change in paint color	<input type="checkbox"/> Installation of screen or storm windows	<input type="checkbox"/> Alteration	<input type="checkbox"/> Site Features
		X New Construction	<input type="checkbox"/> Demolition
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Relocation
		<input type="checkbox"/> Commercial	X Residential
OTHER:			
<input type="checkbox"/> Amendment to previous COA, Project #:		<input type="checkbox"/> Other (Description):	



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

Application Checklist

A complete application requires support materials. Please check the list below for which materials may be necessary for design review of a particular project.

New Buildings and New Additions

- Letter of Intent
- Site plan
- Architectural elevations
- Landscape plan (vegetation not required)
- Description of materials
- Photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation or Remodeling

- Letter of Intent
- Architectural elevations or sketches
- Description of proposed changes
- Description of materials
- Photographs of existing building
- Documentation of earlier historic appearance (Restoration only)

Minor Exterior Changes

- Letter of Intent
- Description of proposed changes
- Description of materials
- Photographs of existing building

Site Changes – Parking Areas, Drives and Walks

- Letter of Intent
- Site plan or sketch of site
- Description of materials
- Photographs of site

Site Changes – Fences, Walls, and Systems

- Letter of Intent
- Site plan or sketch of site
- Architectural elevations or sketches
- Description of materials
- Photographs of site

Site Changes – Signs

- Letter of Intent
- Approved sign application
- Site plan or sketch of site
- Description of materials or illumination

NOTE: Only complete applications will be placed on the agenda for design review. All plans must be “to scale”. Reduced site plans, surveys, architectural drawings...etc. will not be accepted.

Applications should be submitted to the City of Canton Community Development Department, 110 Academy Street, Canton, Georgia 30114. Please contact 770-704-1500 for more information.

Describe the proposed project (attach additional sheets if necessary). The description should include proposed materials.

Please divide the description whether the proposed scope of work will involve more than one type of project. *Example: 1) Addition of storage and 2) installation of sign.*

Introducing an exclusive collection of eight thoughtfully designed residences nestled within the heart of Canton’s Historic District. This boutique development (Serenity Canton) gated blends timeless architectural character with modern comfort, honoring the rich heritage of the area while offering refined contemporary living. Designed with architectural cohesion and attention to detail.

Each home is carefully crafted to complement the surrounding historic streetscape, with inviting front porches, detailed trim work, and harmonious exterior materials. Spacious open-concept floor plans feature abundant natural light, high ceilings, and seamless indoor-outdoor living.

Gourmet kitchens with premium appliances flow into inviting living areas—ideal for both everyday living and entertaining. Primary suites provide a private retreat with spa-inspired bathrooms and generous walk-in closets.

Each home sits on a well-appointed lot with landscaped yards, covered patios, and carefully designed exterior elevations that create a harmonious streetscape while allowing each residence to feel distinct. Each home will be approximately about 2,500 sqft of heated space.

Located within walking distance of downtown Canton’s shops, restaurants, parks, and cultural attractions, the development provides a rare opportunity to experience small-town charm with modern convenience. Mature trees, pedestrian-friendly sidewalks, and proximity to the Etowah River and Heritage Park enhance the neighborhood’s appeal.

This limited collection of eight homes offers a unique blend of history, craftsmanship, and community — an exceptional opportunity to live in one of Cherokee County’s most desirable and character-rich settings. With only eight homes in the community, residents enjoy a sense of exclusivity and quiet sophistication—an intimate neighborhood atmosphere.



Community Development Department

110 Academy Street, Canton, Georgia 30114

770-704-1500

Piedmont Land Group of Georgia 5025
Deen Rd, Marietta, Ga. 30066
470 371 33 80
vtorres.gamesa@gmail.com
February 13th, 2026

City of Canton
Community Development Department 110
Academy St. Canton, Ga. 30114

Subject: Letter of Intent to Request a Building Permit for a 8 houses development.

Dear Community Development Department.

This letter is to express my intent to request a building permit for the construction of an exclusive collection of eight thoughtfully designed residences nestled within the heart of Canton's Historic District. This boutique development (SERENITY Canton) gated blends timeless architectural character with comfort, honoring the rich heritage of the area while offering refined contemporary living, Designed with architectural cohesion and attention to detail.

Each home is carefully crafted to complement the surrounding historic streetscape, with inviting front porches, detailed trim work, and harmonious exterior materials. Spacious open-concept floor plans feature abundant natural light, high ceilings, and seamless indoor-outdoor living. Gourmet kitchens with premium appliances flow into inviting living areas—ideal for both everyday living and entertaining. Primary suites provide a private retreat with spa-inspired bathrooms and generous walk-in closets.

Each home sits on a well-appointed lot with landscaped yards, covered patios, decks and carefully designed exterior elevations that create a harmonious streetscape while allowing each residence to feel distinct. Each home will be approximately about 2,500 sqft of heated space.

Located at 301 W Marietta St, Canton, Ga. 30114, within walking distance of downtown Canton's shops, restaurants, parks, and cultural attractions, the development provides a rare opportunity to experience small-town charm with modern convenience. Mature trees, pedestrian-friendly sidewalks, and proximity to the Etowah River and Heritage Park enhance the neighborhood's appeal.

This limited collection of eight homes offers a unique blend of history, craftsmanship, and community — an exceptional opportunity to live in one of Cherokee County's most desirable and character-rich settings. With only eight homes in the community, residents enjoy a sense of exclusivity and quiet sophistication—an intimate neighborhood atmosphere.

Supporting Documents:

Relating to this proposal, please find attached the following supporting documents:

- Site plan
- Drawings

I look forward to your approval. Thank you,

Sincerely,

Valentin Torres
Piedmont Land Group of Georgia LLC

SITE DEVELOPMENT PLANS FOR: GAMESA PROPERTIES LLC MARIETTA STREET

ZONING: CBD

PARCEL: 91N16 069 & 91N16 070
SITE ADDRESS: 301 W MARIETTA ST
CANTON, GA 30114
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GA
TOTAL AREA: 0.77 ACRES
DISTURBED AREA: 0.86 ± ACRES

DES PROJECT NO. 21-219.1

OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

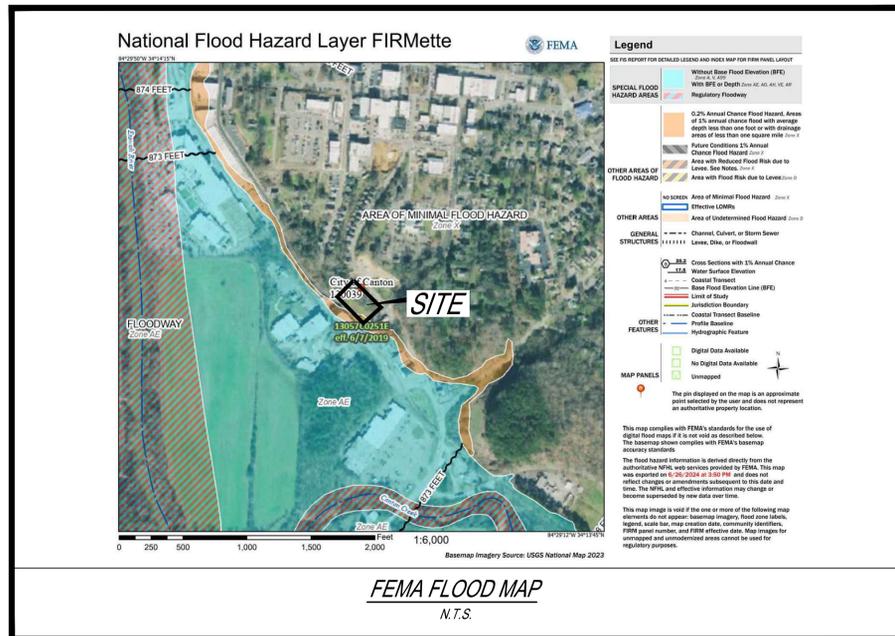
PREPARED BY:

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

SHEET INDEX	
1	COVER SHEET
2	EXISTING CONDITIONS/DEMO PLAN
3	LOT LAYOUT
4	SITE PLAN
5	GRADING & DRAINAGE PLAN
6	STORM PROFILES
7	DRIVEWAY SIGHT LINE PROFILES
8	UTILITY PLAN
9	LANDSCAPE PLAN
10	EROSION CONTROL PHASE 1
11	EROSION CONTROL PHASE 2
12	EROSION CONTROL PHASE 3
13	EROSION CONTROL NOTES & DETAILS 1
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15	EROSION CONTROL NOTES & DETAILS 3
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WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND CSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
4	05/29/2025	REMOVED PER CITY OF CANTON

COVER
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
1 OF 21
PROJECT NO.
21-219

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THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM INFORMATION PROVIDED BY THE PROPERTY OR UTILITY OWNERS.
DAVIS ENGINEERING & SURVEYING, LLC DOES NOT GUARANTEE THAT THE LOCATIONS SHOWN ARE EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES, TO NOTIFY UTILITY OWNERS PRIOR TO CONSTRUCTION, AND TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS.

PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 42" PIPE AND REPLACEMENT WITH 8" SINGLE FAMILY DWELLING LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONAGES.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 1305700251E DATED 6/7/2019.

ZONING INFORMATION:
CITY OF CANTON
ZONING: CDE
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

- GENERAL NOTES:**
- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
 - ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
 - MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
 - THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
 - MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
 - ALL HOPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
 - CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
 - ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
 - ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

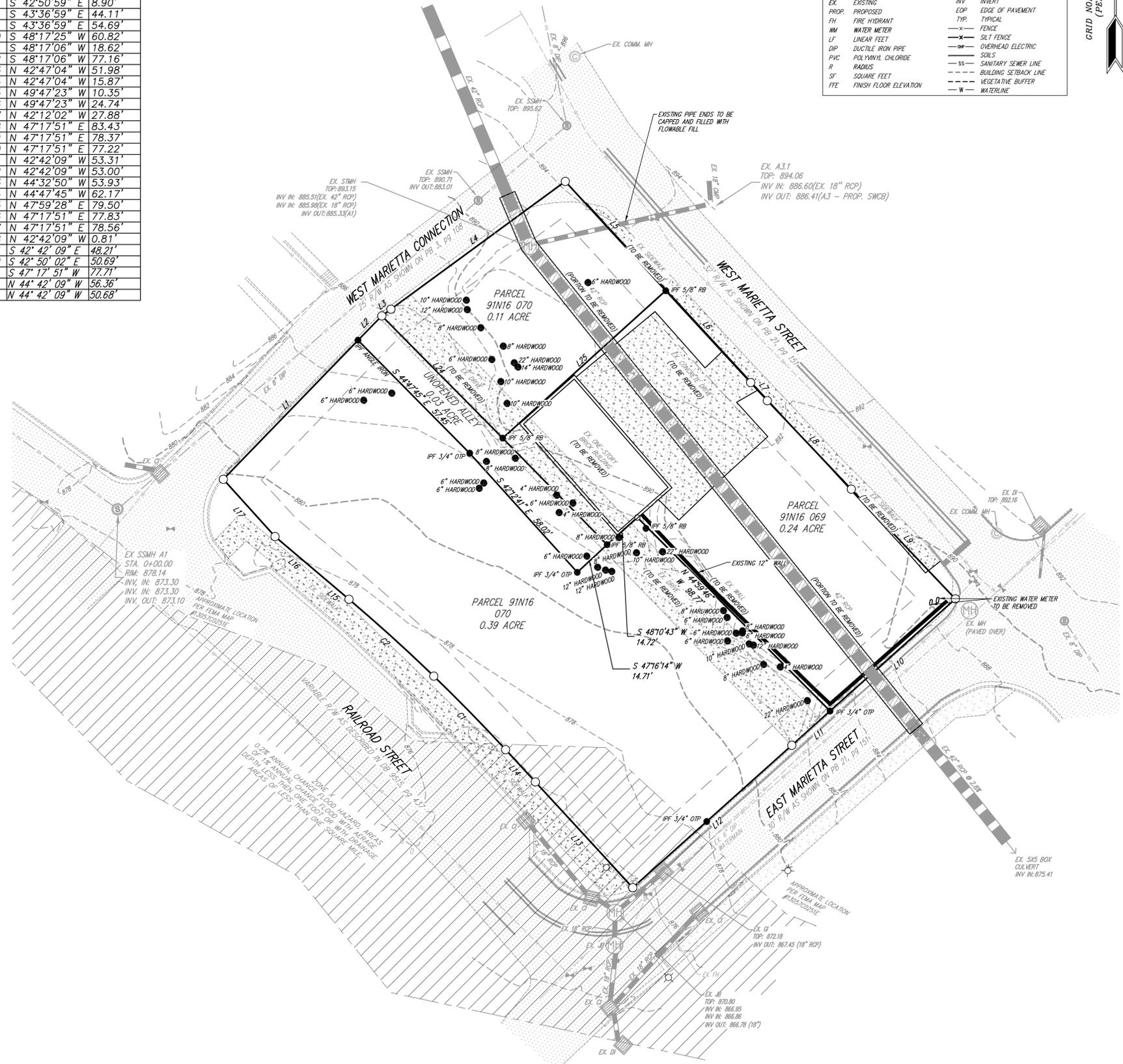
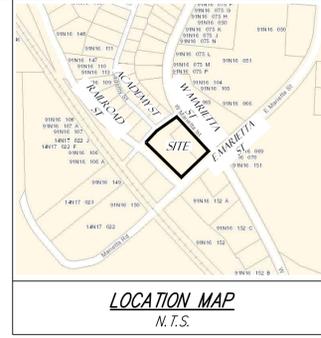
- DEMOLITION NOTES:**
- CONTRACTOR SHALL LOCATE AND IDENTIFY ALL EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE. ALL UTILITIES ARE ASSUMED TO REMAIN ACTIVE UNLESS SPECIFICALLY NOTED TO BE REMOVED OR ABANDONED.
 - CONTRACTOR SHALL PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.
 - DEPRESSIONS OR VOID AREAS RESULTING FROM DEMOLITION ACTIVITIES ARE TO BE FILLED WITH SUITABLE MATERIAL TO AVOID WATER PONDING.
 - ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 - SITE MAY CONTAIN OTHER DILAPIDATED STRUCTURES THAT ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING ON-SITE STRUCTURES AS DEEMED NECESSARY BY THE OWNER.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	642.55'	37.16'	37.15'	N 44°26'26" W
C2	642.55'	41.41'	41.40'	N 47°56'36" W

LINE	BEARING	DISTANCE
L1	N 44°11'39" E	69.97'
L2	N 44°27'53" E	12.32'
L3	N 53°52'43" E	4.08'
L4	N 53°52'43" E	78.23'
L5	S 42°42'09" E	53.66'
L6	S 42°49'55" E	45.23'
L7	S 42°50'59" E	8.90'
L8	S 43°36'59" E	44.11'
L9	S 43°36'59" E	54.69'
L10	S 48°17'25" W	60.82'
L11	S 48°17'06" W	18.62'
L12	S 48°17'06" W	77.16'
L13	N 42°47'04" W	51.98'
L14	N 42°47'04" W	15.87'
L15	N 49°47'23" W	10.35'
L16	N 49°47'23" W	24.74'
L17	N 42°12'02" W	27.88'
L18	N 47°17'51" E	83.43'
L19	N 47°17'51" E	78.37'
L20	N 47°17'51" E	77.22'
L21	N 42°42'09" W	53.31'
L22	N 42°42'09" W	53.00'
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L26	N 47°17'51" E	77.83'
L27	N 47°17'51" E	78.56'
L28	N 42°42'09" W	0.81'
L29	S 42°42'09" E	48.21'
L30	S 42°50'02" E	50.69'
L31	S 47°17'51" W	77.71'
L32	N 44°42'09" W	56.36'
L33	N 44°42'09" W	50.68'

LEGEND

○ POWER POLE (PP)	C&G CURB AND GUTTER
HP HIGH POINT	IP IRON PIN
DI DROP INLET	P/L PROPERTY LINE
JB JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
DWCB DOUBLE WING CATCH BASIN	PC POINT OF CURVATURE
HW HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP CORRUGATED METAL PIPE	N/W NOW OR FORMERLY
HDPE HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
USD UNDERGROUND DETENTION	LLL LAND LOT LINE
TEM TEMPORARY BENCHMARK	CONC. CONCRETE
EX. EXISTING	INV. INVERT
PROP. PROPOSED	EOP. EDGE OF PAVEMENT
FH FIRE HYDRANT	TYR. TYPICAL
WM WATER METER	-X- FENCE
LF LINEAR FEET	-X- SILT FENCE
DIP DUCTILE IRON PIPE	-OP- OVERHEAD ELECTRIC
PVC POLYVINYL CHLORIDE	-SS- SOLS
R RADIUS	-SS- SANITARY SEWER LINE
SF SQUARE FEET	-SB- BUILDING SETBACK LINE
FFE FINISH FLOOR ELEVATION	-V- VEGETATIVE BUFFER
	-W- WATERLINE



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecellhay@gmail.com

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
JASON K. DAVIS
05/29/2025

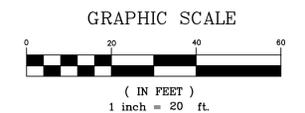
REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND CSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
5	05/29/2025	REMOVED PER CITY OF CANTON

EXISTING CONDITIONS
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



SHEET NO.
2 of 21
PROJECT NO.
21-219

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PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.
THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 42" PIPE AND REPLACEMENT WITH 8 SINGLE FAMILY DWELLING LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONTAGES.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 13057C0251E DATED 6/7/2019.

ZONING INFORMATION:
CITY OF CANTON
ZONING: CDB
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

- GENERAL NOTES:**
- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
 - ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
 - CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
 - MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
 - THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
 - ALL HDPE PIPE TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
 - CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
 - ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
 - ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

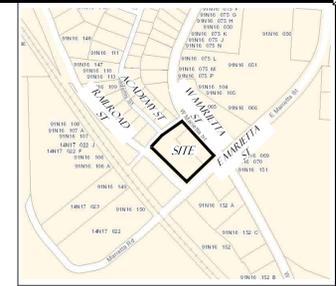
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	642.55'	37.16'	37.15'	N 44°26'26" W
C2	642.55'	41.41'	41.40'	N 47°56'36" W

LINE	BEARING	DISTANCE
L1	N 44°11'39" E	69.97'
L2	N 44°27'53" E	12.32'
L3	N 53°52'43" E	4.08'
L4	N 53°52'43" E	78.23'
L5	S 42°42'09" E	53.66'
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L32	N 44°42'09" W	56.36'
L33	N 44°42'09" W	50.68'

LEGEND

○ POWER POLE (PP)	C&G CURB AND GUTTER
HP HIGH POINT	IP IRON PIN
DI DROP INLET	P/L PROPERTY LINE
JB JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
DWCB DOUBLE WING CATCH BASIN	PC POINT OF CURVATURE
HW HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP CORRUGATED METAL PIPE	N/F NOW OR FORMERLY
HDPE HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
UGD UNDERGROUND DETENTION	LLL LAND LOT LINE
TBM TEMPORARY BENCHMARK	CONC. CONCRETE
EX. EXISTING	INV. INVERT
PROP. PROPOSED	EOP. EDGE OF PAVEMENT
FH FIRE HYDRANT	TYP. TYPICAL
WM WATER METER	—X— FENCE
LF LINEAR FEET	—X— SILT FENCE
DIP DUCTILE IRON PIPE	—O— OVERHEAD ELECTRIC
PVC POLYVINYL CHLORIDE	—S— SOILS
R RADIUS	—SS— SANITARY SEWER LINE
SF SQUARE FEET	—D— BUILDING SETBACK LINE
FTE FINISH FLOOR ELEVATION	--- VEGETATIVE BUFFER
	—W— WATERLINE

GRID NORTH (GA WEST ZONE)
(PER REF. SURVEY)

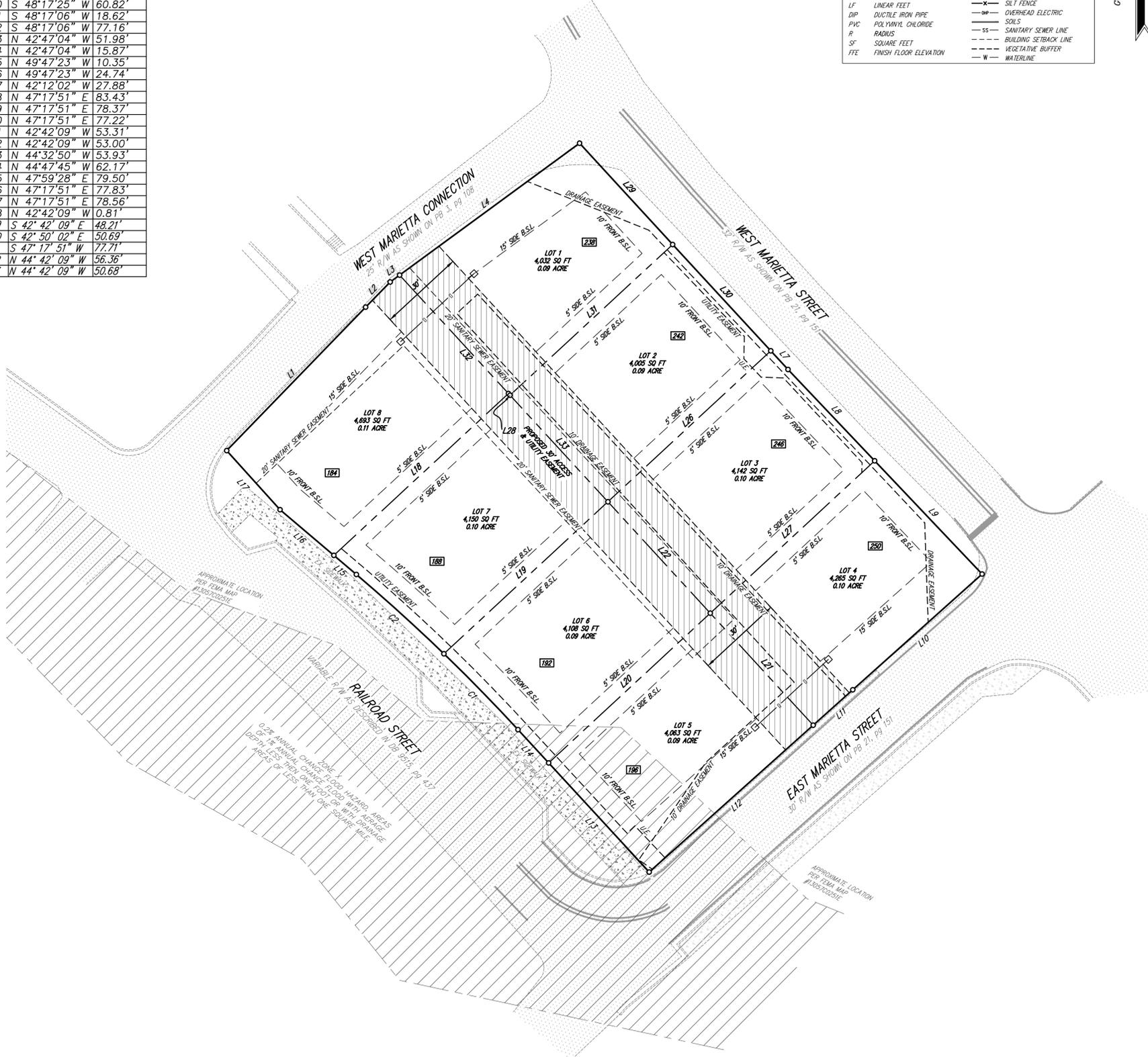


LOCATION MAP
N.T.S.

OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com



DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REVISED PER CITY OF CANTON AND GSNWCC
3	05/02/2025	REVISED PER CITY OF CANTON
4	05/21/2025	REVISED PER CITY OF CANTON
	05/29/2025	REVISED PER CITY OF CANTON

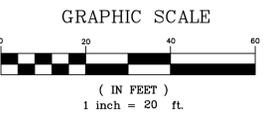
LOT LAYOUT
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY:	KDD
CHECKED BY:	OH
LAND LOT:	166
DISTRICT:	14th
SECTION:	2nd
CITY:	CANTON
COUNTY:	CHEROKEE
DATE:	05/02/2025

SHEET NO.
3 of 21
PROJECT NO.
21-219



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



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PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 4" PIPE AND REPLACEMENT WITH 8" SINGLE FAMILY DWELLING LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONTS.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	642.55'	37.16'	37.15'	N 44°26'26" W
C2	642.55'	41.41'	41.40'	N 47°56'36" W

LINE	BEARING	DISTANCE
L1	N 44°11'39" E	69.97'
L2	N 44°27'53" E	12.32'
L3	N 53°52'43" E	4.08'
L4	N 53°52'43" E	78.23'
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L6	S 42°49'55" E	45.23'
L7	S 42°50'59" E	8.90'
L8	S 43°36'59" E	44.11'
L9	S 43°36'59" E	54.69'
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L26	N 47°17'51" E	77.83'
L27	N 47°17'51" E	78.56'
L28	N 42°42'09" W	0.81'
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L30	S 42°50'02" E	50.69'
L31	S 47°17'51" W	77.71'
L32	N 44°42'09" W	56.36'
L33	N 44°42'09" W	50.68'

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

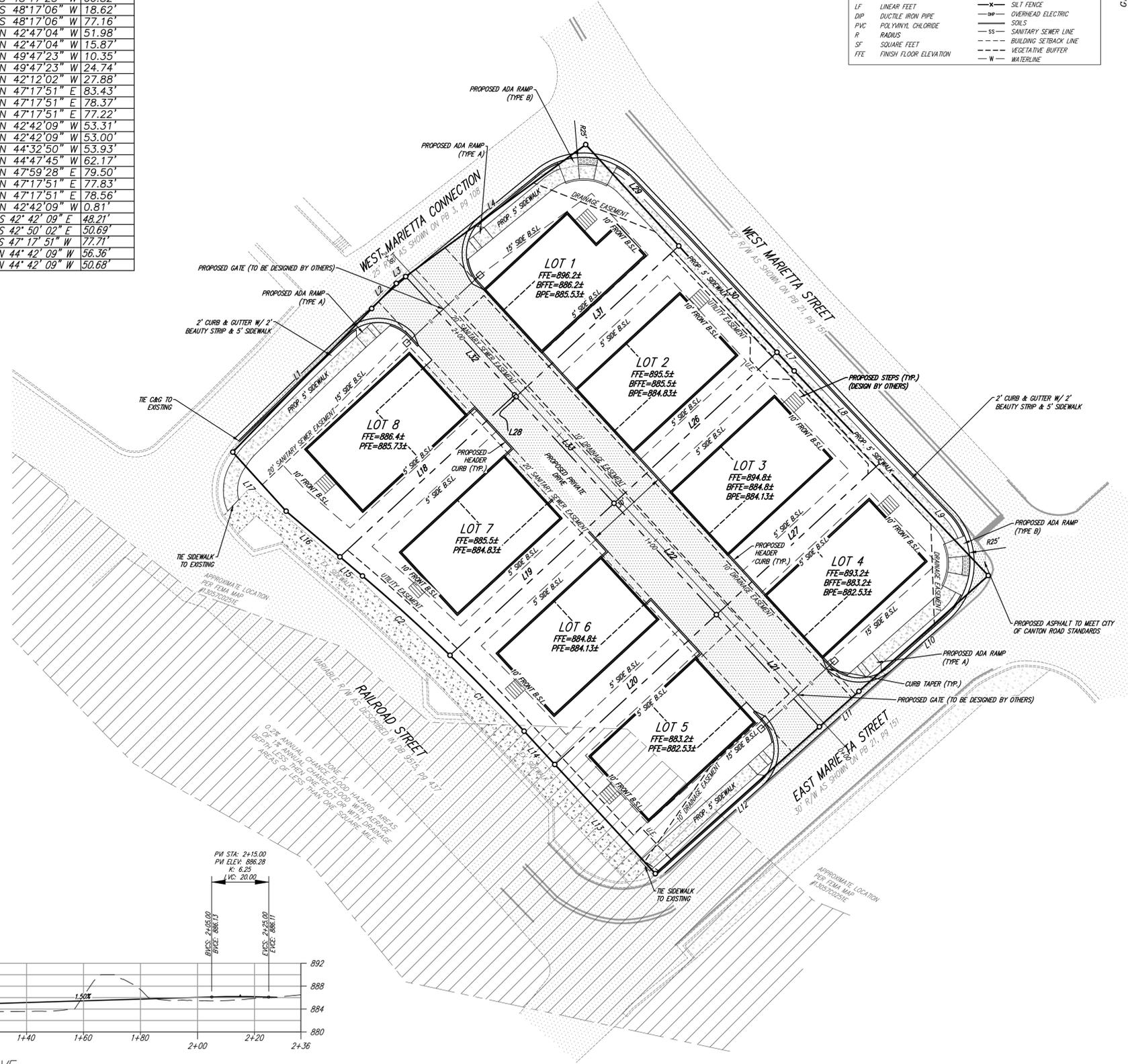
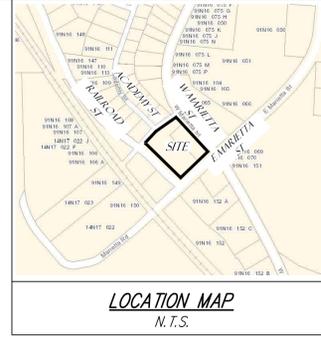
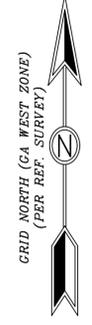
ACCORDING TO AN INTERPRETATION OF THE FEMO NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 13057C0251E DATED 6/7/2019.

ZONING INFORMATION:
CITY OF CANTON
ZONING: CDB
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

- GENERAL NOTES:**
- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
 - ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
 - CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
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 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
 - ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
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 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

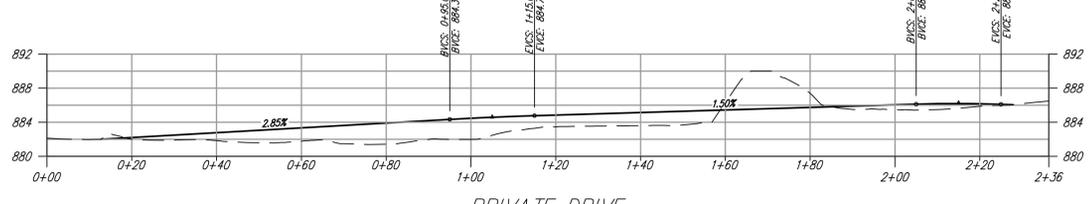
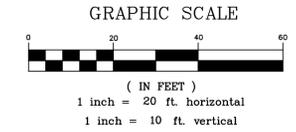
LEGEND

○ POWER POLE (PP)	C&G CURB AND GUTTER
HP HIGH POINT	IP IRON PIN
DI DROP INLET	P/L PROPERTY LINE
JB JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
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HW HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP CORRUGATED METAL PIPE	N/F NOW OR FORMERLY
HDPE HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
UGD UNDERGROUND DETENTION	CONC. CONCRETE
TM TEMPORARY BENCHMARK	INV INVERT
EX EXISTING	EOP EDGE OF PAVEMENT
PROP. PROPOSED	TYP. TYPICAL
FH FIRE HYDRANT	—X— FENCE
WM WATER METER	—X— SILT FENCE
LF LINEAR FEET	—O— OVERHEAD ELECTRIC
DIP DUCTILE IRON PIPE	—S— SOILS
PVC POLYVINYL CHLORIDE	—SS— SANITARY SEWER LINE
R RADIUS	—B— BUILDING SETBACK LINE
SF SQUARE FEET	—V— VEGETATIVE BUFFER
FEE FINISH FLOOR ELEVATION	—W— WATERLINE

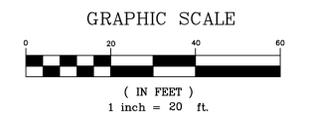


GATES FOR ALLEY SHALL HAVE KNOX SWITCH KEYED TO THE CITY OF CANTON.

GATES FOR ALLEY SHALL FAIL SAFE AND HAVE BATTERY BACK-UP SYSTEM FOR POWER OUTAGES. THIS APPLIES FOR EACH GATE.



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
2	11/01/2024	REVISED PER CITY OF CANTON AND GSNCC
3	05/02/2025	REVISED PER CITY OF CANTON
4	05/21/2025	REVISED PER CITY OF CANTON
5	05/29/2025	REVISED PER CITY OF CANTON

SITE PLAN
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
4 of 21
PROJECT NO.
21-219

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PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 42" PIPE AND REPLACEMENT WITH 8 SINGLE FAMILY DWELLING LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONTS.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES NOT WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 1305700251E DATED 6/7/2019.

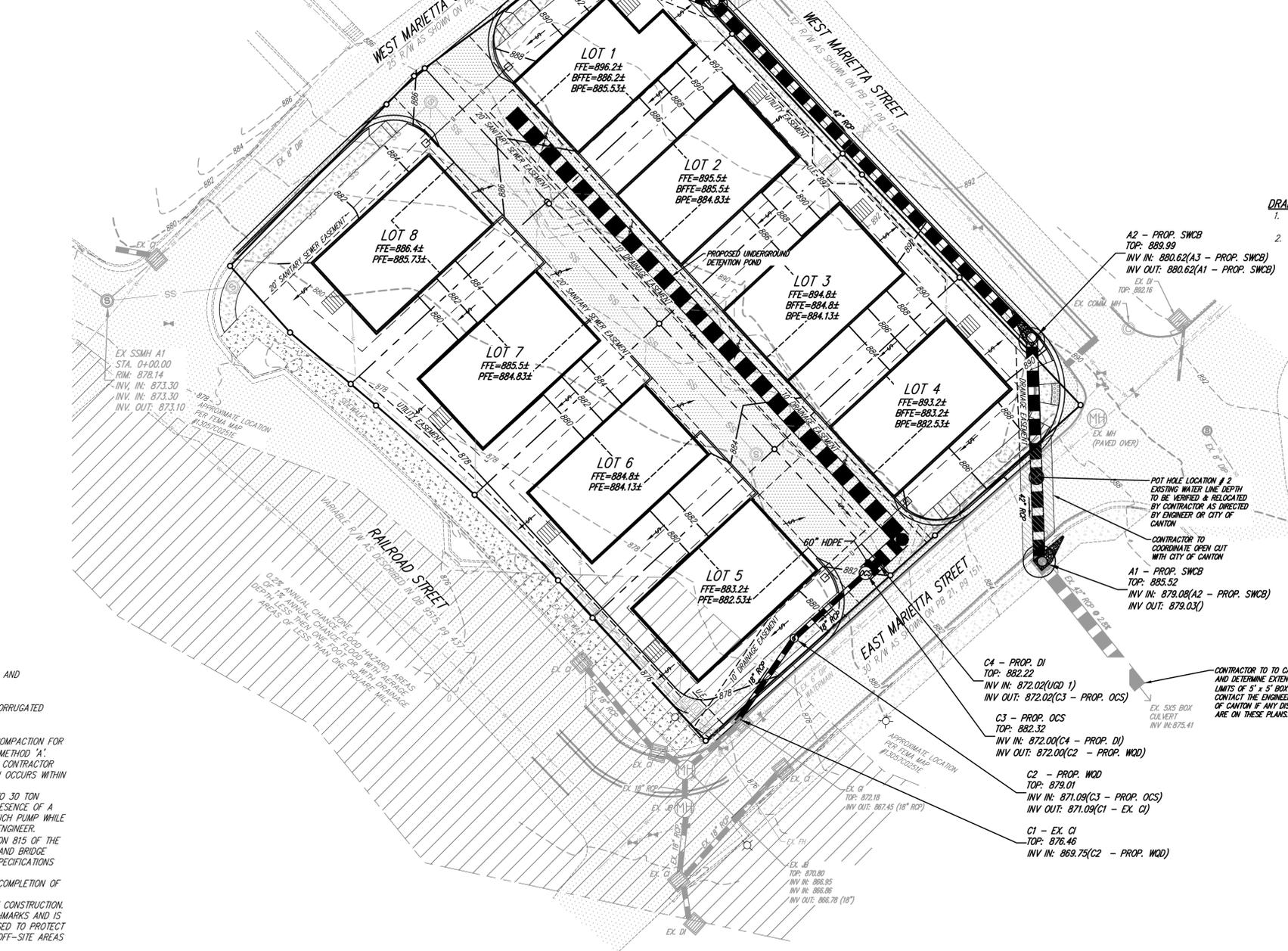
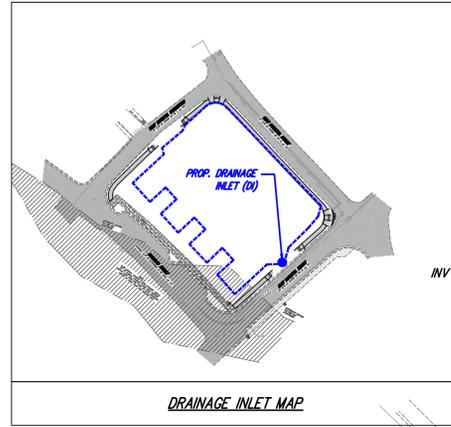
ZONING INFORMATION:
CITY OF CANTON
ZONING: CDB
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

GENERAL NOTES:

- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
- ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
- MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
- THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
- NO MATERIAL CAN BE BURIED ON SITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
- MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
- THIS SITE DOES NOT CONTAIN WETLANDS.
- THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED FEATURES SHOWN BY SOLID OR BOLD LINES.
- CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
- ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
- ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
- ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
- ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

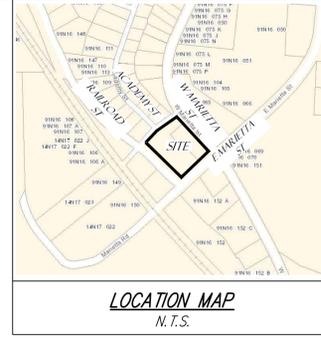
GRADING NOTES:

- DIRT FOR FILL SHALL BE CLEAN, COHESIVE CLAY OR SANDY CLAY FREE OF DEBRIS, ORGANICS, AND DELETERIOUS MATERIAL.
- NO CUT OR FILL SLOPES STEEPER THAN 2H:1V ARE ALLOWED.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS OTHERWISE NOTED. ALL CORRUGATED METAL PIPE (CMP) SHALL BE 16 GAUGE MINIMUM AND ASPHALT OR ALUMINUM COATED.
- ALL MANHOLE TOPS SHALL BE SET FLUSH WITH FINISHED GRADE.
- TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF THE OPTIMUM COMPACTION FOR ANY SOIL CLASSIFICATION AS DETERMINED BY THE STANDARD PROCTOR TEST (AASHTO T-99 METHOD 'A'). BACKFILL MATERIAL SHALL BE CLEAN AND FREE OF ROOTS, ROCK, OR DELETERIOUS MATERIAL. CONTRACTOR SHALL CORRECT ANY DAMAGE TO CURBING OR PAVING CAUSED BY TRENCH SETTLEMENT WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE.
- AREAS INTENDED TO SUPPORT PAVEMENT OR NEW FILL SHALL BE PROOF ROLLED WITH A 20 TO 30 TON LOADED TRUCK OR OTHER PNEUMATIC-TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT IN THE PRESENCE OF A GEOTECHNICAL ENGINEER TO LOCATE WEAK, SOFT, OR EXCESSIVELY WET MATERIALS. AREAS WHICH PUMP WHILE PROOF ROLLED SHALL BE UNDERCUT AND BACK-FILLED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- CRUSHED STONE AGGREGATE (GAB) IN ROADWAY/PARKING AREAS SHALL CONFORM WITH SECTION 815 OF THE STATE OF GEORGIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHALL MEET APPLICABLE SPECIFICATIONS OF THE ASPHALT INSTITUTE AND GEORGIA DEPARTMENT OF TRANSPORTATION.
- ALL STORM DRAIN PIPES ARE TO BE COMPLETELY CLEANED OF ALL SILT AND DEBRIS AT THE COMPLETION OF CONSTRUCTION.
- NOI MUST BE SUBMITTED BY THE CONTRACTOR 14 DAYS MINIMUM PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL CLEARLY MARK AND MAINTAIN PROPERTY CORNER MONUMENTS AND BENCHMARKS AND IS RESPONSIBLE FOR THE COST OF REPLACEMENT IF DISTURBED. THE CONTRACTOR IS ALSO ADVISED TO PROTECT ALL ADJACENT LANDS FROM DAMAGE AND WILL BE RESPONSIBLE TO RETURN ANY DISTURBED OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
- ALL VEGETATION, ROOT SYSTEMS, TOPSOIL, REFUSE, AND OTHER DELETERIOUS, NON-SOIL MATERIAL SHALL BE STRIPPED FROM THE PROPOSED CONSTRUCTION AREAS. CLEAN TOPSOIL MAY BE STOCKPILED AND REUSED LATER AT THE OWNER'S DISCRETION.
- ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
- ALL STRUCTURES TO BE DEMOLISHED SHALL BE COMPLETELY REMOVED ABOVE AND BELOW GRADE INCLUDING APPLICABLE SERVICE LINES. STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.



LEGEND

HP	POWER POLE (PP)	C&G	CURB AND GUTTER
DI	HIGH POINT	IP	IRON PIN
JB	DROP INLET	P/L	PROPERTY LINE
OCS	JUNCTION BOX	F.E.S.S.	FLARED END SAFETY SECTION
DWCB	OUTLET CONTROL STRUCTURE	PT	POINT OF TANGENT
HW	DOUBLE WING CATCH BASIN	PC	POINT OF CURVATURE
RCP	HEADWALL	OCS	OUTLET CONTROL STRUCTURE
CMP	REINFORCED CONCRETE PIPE	ELEV.	ELEVATION
HDPE	CORRUGATED METAL PIPE	N/F	NOW OR FORMERLY
UGD	HIGH DENSITY POLYETHYLENE	R/W	RIGHT OF WAY
TBM	UNDERGROUND DETENTION	LLL	LAND LOT LINE
EX	TEMPORARY BENCHMARK	CONC.	CONCRETE
PROP.	EXISTING BENCHMARK	INV	INVERT
EH	PROPOSED BENCHMARK	EOP	EDGE OF PAVEMENT
WM	FIRE HYDRANT	TRP.	TYPICAL
LF	WATER METER	F	FENCE
DIP	LINEAR FEET	S	SILT FENCE
PVC	DUCTILE IRON PIPE	OE	OVERHEAD ELECTRIC
R	POLYVINYL CHLORIDE	SOLS	SOILS
SF	RADIUS	SS	SANITARY SEWER LINE
FFE	SQUARE FEET	---	BUILDING SETBACK LINE
		---	VEGETATIVE BUFFER
		---	WATERLINE



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

- DRAINAGE NOTES:**
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLASSIC DRAIN DIMENSIONS WITH MANUFACTURER.
 - FLOWELLS TO SIT ON 2" GRAVEL WITH 3" GRAVEL SURROUNDING. SEE DETAIL ON SHEET 9. CONTRACTOR TO COORDINATE WITH ENGINEER TO DETERMINE NUMBER OF UNITS AND REQUIREMENTS.

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
JASON K. DAVIS
05/29/2025

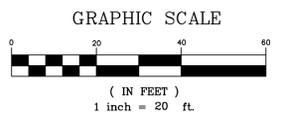
REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
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4	05/21/2025	REVISED PER CITY OF CANTON
5	05/29/2025	REVISED PER CITY OF CANTON

GRADING & DRAINAGE PLAN
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



SHEET NO.
5 of 21
PROJECT NO.
21-219

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05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND CSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/29/2025	REMOVED PER CITY OF CANTON

STORM & PROFILES
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: **KDD**
CHECKED BY: **OH**
LAND LOT: **166**
DISTRICT: **14th**
SECTION: **2nd**
CITY: **CANTON**
COUNTY: **CHEROKEE**
DATE: **05/02/2025**

SHEET NO.
6 OF 21
PROJECT NO.
21-219

Storm Sewer Tabulation

25 YEAR

Page 1

Station	Len	Drng Area	Rnoff	Area x C	Tc	Rain	Total	Cap	Vel	Pipe	Invert Elev	HGL Elev	Grnd / Rim Elev	Line ID
Line To Line	(ft)	(ac)	(ac)	(C)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	Size Slope	Dn Up	Dn Up	(ft) (ft)	
7 6	4.000	0.00	0.00	0.00	5.0	5.0	3.93	184.3	2.57	60 0.50	872.00	872.02	873.02	881.97 882.32
6 5	30.096	0.00	0.00	0.00	0.0	5.3	3.93	18.26	3.31	18 3.02	871.09	872.00	872.76	879.01 881.97
5 End	30.437	0.00	0.00	0.00	0.0	5.6	3.93	22.03	6.09	18 4.40	869.75	871.09	870.88	871.52 876.46 879.01
4 2	50.769	0.00	0.00	0.00	5.0	5.0	93.75	205.6	10.23	42 4.18	883.86	885.98	887.39	888.97 893.56 891.83
3 2	30.000	0.00	0.00	0.00	5.0	5.0	6.00	14.22	3.40	18 1.83	885.86	886.41	888.68	888.78 893.56 894.06
2 1	143.897	0.00	0.00	0.00	0.0	5.1	99.75	163.5	10.77	42 2.25	880.62	883.86	885.39	886.92 889.99 893.56
1 End	68.524	0.00	0.00	0.00	0.0	5.4	99.75	150.8	13.70	42 2.25	879.08	880.62	882.36	882.70 885.52 889.99

Project File: 21-219 W MARIETTA ST - 11-1-24.stm

Number of lines: 7

Run Date: 11/1/2024

NOTES: Intensity = 63.12 / (Inlet time + 6.70) ^ 0.75; Return period = Yrs. 25 ; c = cir e = ellip b = box

Storm Sewers v2025.00

Storm Sewer Tabulation

100 YEAR

Page 1

Station	Len	Drng Area	Rnoff	Area x C	Tc	Rain	Total	Cap	Vel	Pipe	Invert Elev	HGL Elev	Grnd / Rim Elev	Line ID
Line To Line	(ft)	(ac)	(ac)	(C)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	Size Slope	Dn Up	Dn Up	(ft) (ft)	
7 6	4.000	0.00	0.00	0.00	5.0	5.0	3.93	184.3	2.57	60 0.50	872.00	872.02	873.02	881.97 882.32
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5 End	30.437	0.00	0.00	0.00	0.0	5.6	3.93	22.03	6.09	18 4.40	869.75	871.09	870.88	871.52 876.46 879.01
4 2	50.769	0.00	0.00	0.00	5.0	5.0	93.75	205.6	10.23	42 4.18	883.86	885.98	887.39	888.97 893.56 891.83
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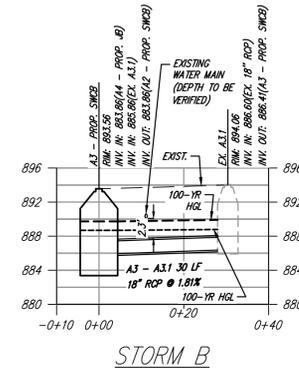
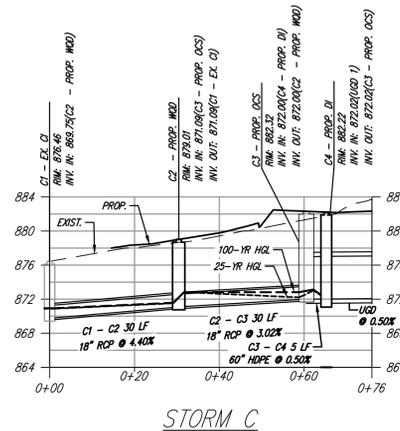
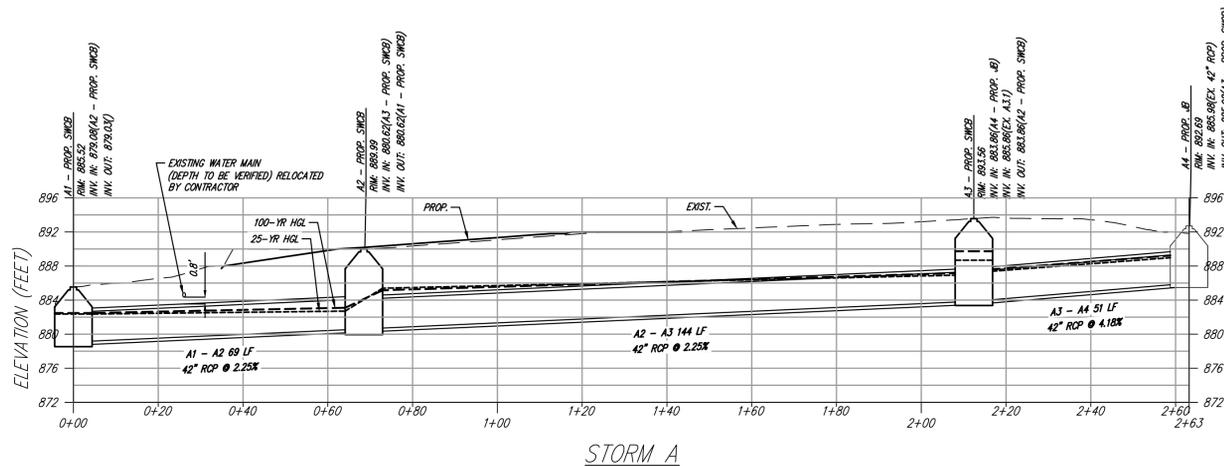
Project File: 21-219 W MARIETTA ST - 11-1-24.stm

Number of lines: 7

Run Date: 11/1/2024

NOTES: Intensity = 76.12 / (Inlet time + 6.30) ^ 0.74; Return period = Yrs. 100 ; c = cir e = ellip b = box

Storm Sewers v2025.00

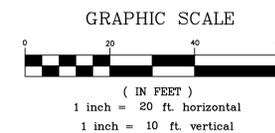
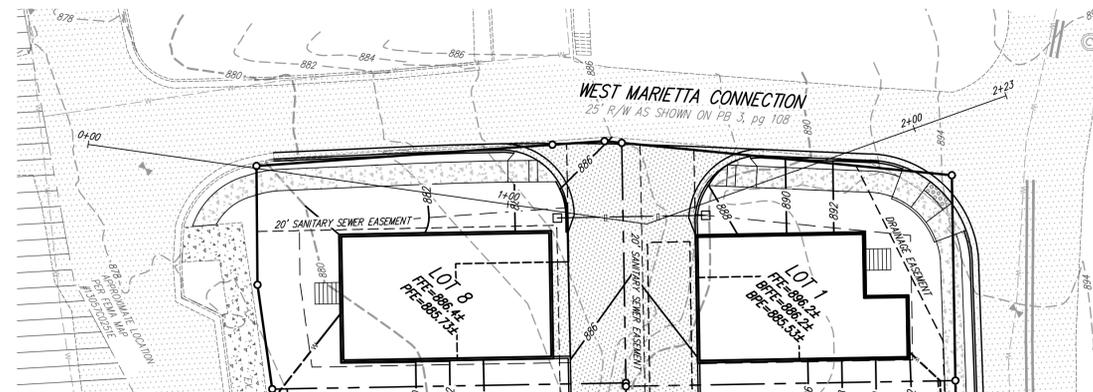
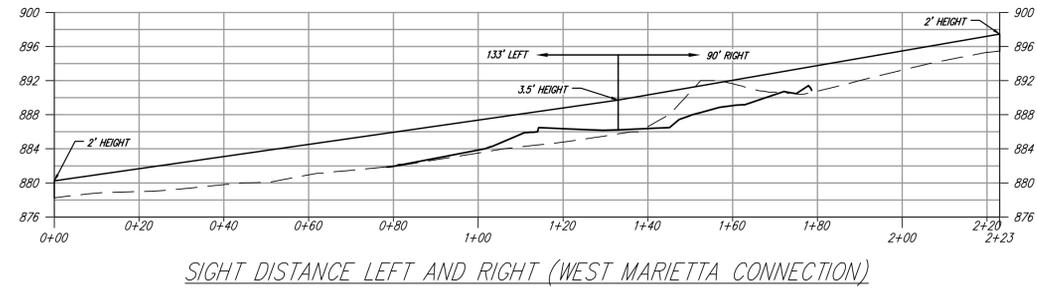
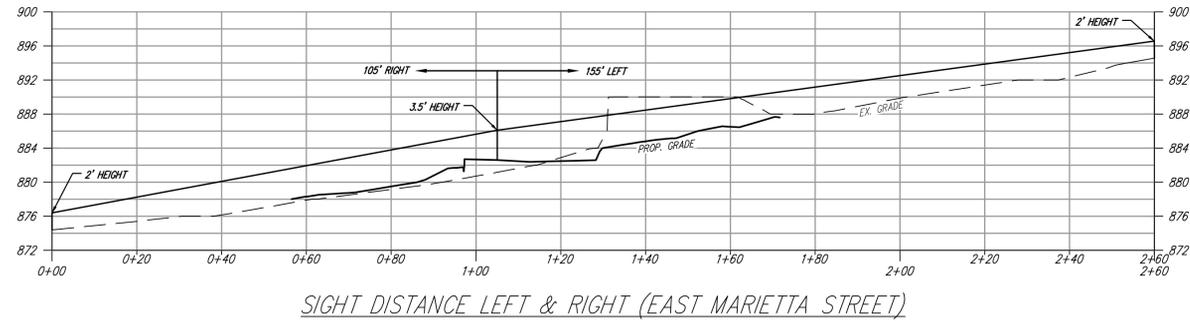


GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft. horizontal
1 inch = 10 ft. vertical

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 ENGINEERING & SURVEYING
 24 DAWSON VILLAGE
 WAY SOUTH
 DAWSONVILLE, GA 30534
 PHONE: (706) 265-1234
 DAVISENGINEERS.COM



05/29/2025

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DRIVEWAY SIGHT LINE PROFILES
GAMESA PROPERTIES LLC-MARIETTA STREET

LAND LOT 166
 14th DISTRICT, 2nd SECTION
 CITY OF CANTON
 CHEROKEE COUNTY, GEORGIA

DRAWN BY: **KDD**
 CHECKED BY: **OH**
 LAND LOT: **166**
 DISTRICT: **14th**
 SECTION: **2nd**
 CITY: **CANTON**
 COUNTY: **CHEROKEE**
 DATE: **05/02/2025**

SHEET NO.
7 OF 21

PROJECT NO.
21-219

PROJECT INFORMATION:
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PROPERTY/PARCEL INFORMATION:
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JURISDICTION: CITY OF CANTON

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CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES NOT WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 1305700251E DATED 6/7/2019.

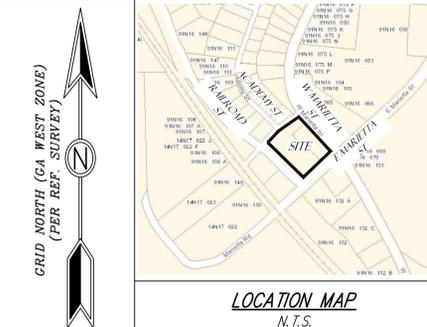
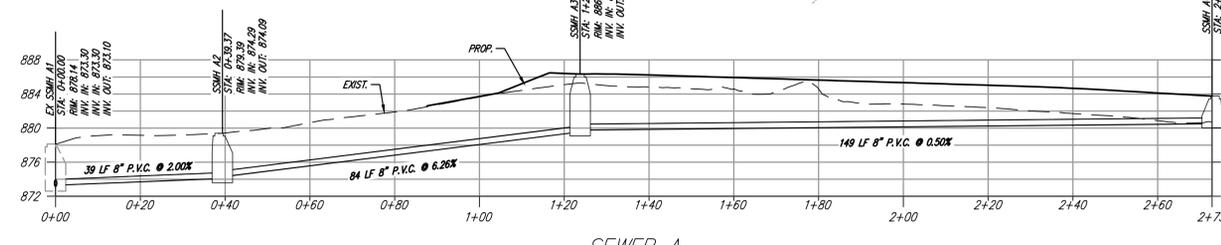
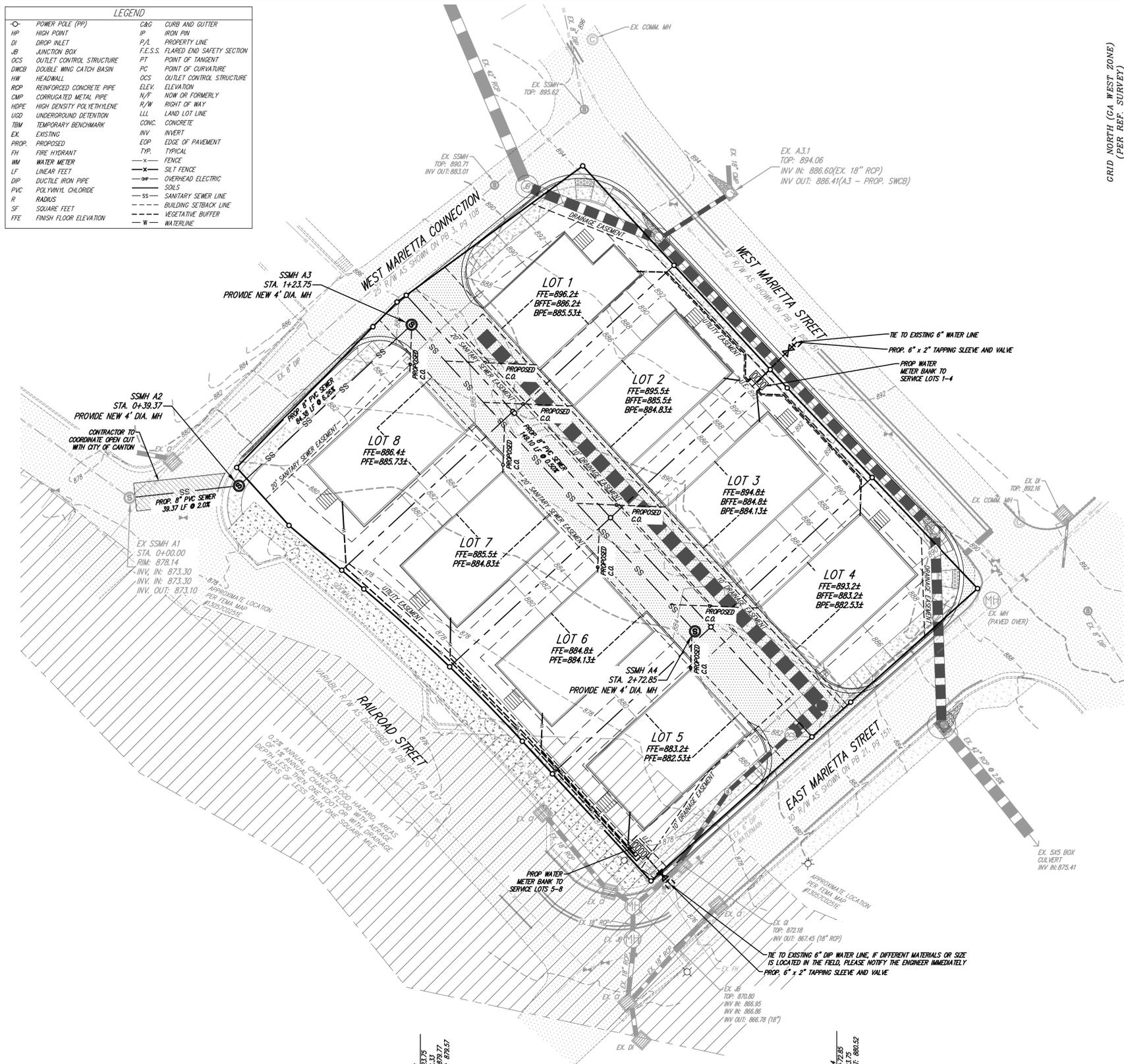
ZONING INFORMATION:
CITY OF CANTON
ZONING: CDE
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

- GENERAL NOTES:**
- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
 - ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
 - MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
 - THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ON SITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
 - MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
 - ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
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 - PROPRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
 - ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

- WATER NOTES:**
- ALL WATER CONSTRUCTION SHALL COMPLY WITH CITY OF CANTON STANDARDS.
 - ALL MATERIALS, INCLUDING BUT NOT LIMITED TO FITTINGS, SHALL BE INSPECTED BY THE CITY OF CANTON UTILITY INSPECTOR PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A MARKED-UP SET OF CONSTRUCTION DRAWINGS THAT INCLUDE ALL ASBUILT CONDITIONS. ASBUILT OR RECORDED DRAWINGS WILL BE REQUIRED PRIOR TO FINAL APPROVAL.
 - FIRE HYDRANT SHALL BE SUPPLIED BY NOT LESS THAN AN 8" NOMINAL MAIN.
 - THE FOLLOWING REQUIRE INSPECTION PRIOR TO BACK FILLING: WET TAPS, TEES, BENDS, FIRE HYDRANT TEES, AND INSTALLATION OF 57 STONE AT FIRE HYDRANTS.
 - COMPACTION: WHERE WATER LINES, SERVICE LINES ARE INSTALLED UNDER A ROAD, STREET, OR DRIVEWAY, SUFFICIENT COMPACTION IS REQUIRED (PER GEOTECHNICAL REPORT).
 - ALL PVC WATER LINES MUST HAVE A TRACER LOCATE WIRE.
 - WATER MAIN DEPTHS: 2 INCH THROUGH 8 INCH LINES SHALL BE AT A DEPTH NO LESS THAN 3- FEET FROM THE GRADE TO THE TOP OF THE PIPE.
 - DEVELOPERS AND CONTRACTORS SHALL PROVIDE 24-HOURS NOTICE TO THE INSPECTOR PRIOR TO FLUSHING, CHLORINATING, OR PERFORMING A PRESSURE TEST ON THE WATER SYSTEM.
 - ALL WATER MAINS TO BE AWWA CLASS 52 DUCTILE IRON PIPE.

- SANITARY SEWER NOTES:**
- ALL SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF CANTON STANDARDS.
 - DUCTILE IRON PIPE IS REQUIRED:
 - FOR LINES WITH LESS THAN 4 FEET OF COVER.
 - WHEN A SEWER LINE CROSSES A STORM SEWER WITH LESS THAN 2 FEET OF COVER.
 - WHEN THE LINE PASSES LATERALLY WITHIN 1-FOOT OF A STORM SEWER.
 - WHEN THE LINE IS AT A DEPTH OF 16- FEET OR GREATER.
 - IN SWAMPY OR UNSTABLE SOIL CONDITIONS WHERE BEDDING IS DIFFICULT TO ESTABLISH.
 - WHEN THE SEWER SLOPE IS GREATER THAN 20%.
 - ALL CONNECTIONS MADE TO AN EXISTING MANHOLE MUST BE MADE BY CORING THE MANHOLE AND INSTALLING A RUBBER BOOT.
 - ALL CLEAN OUTS IN TRAFFIC BEARING AREAS SHALL BE USF 7635 OR EQUAL.
 - CONTRACTOR TO VERIFY INVERTS AT SEWER TIE-IN LOCATIONS.

LEGEND		
○	POWER POLE (PP)	C&G CURB AND GUTTER
HP	HIGH POINT	IP IRON PIN
DI	DROP INLET	P/L PROPERTY LINE
JB	JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS	OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
DWCB	DOUBLE WING CATCH BASIN	PC POINT OF CURVATURE
HW	HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP	REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP	CORRUGATED METAL PIPE	N/F NOW OR FORMERLY
HDPE	HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
UVD	UNDERGROUND DETENTION	LL LAND LOT LINE
TEM	TEMPORARY BENCHMARK	CONC. CONCRETE
EX	EXISTING	INV INVERT
PROP.	PROPOSED	EOP EDGE OF PAVEMENT
FH	FIRE HYDRANT	TYP. TYPICAL
WM	WATER METER	— X — FENCE
LF	LINEAR FEET	— SKT FENCE
DIP	DUCTILE IRON PIPE	— OVP — OVERHEAD ELECTRIC
PVC	POLYVINYL CHLORIDE	— S — SOILS
R	RADIUS	— SS — SANITARY SEWER LINE
SF	SQUARE FEET	— B — BUILDING SETBACK LINE
FFE	FINISH FLOOR ELEVATION	— V — VEGETATIVE BUFFER
		— W — WATERLINE



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
JASON K. DAVIS
05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REVISED PER CITY OF CANTON AND GSNCC
3	05/02/2025	REVISED PER CITY OF CANTON
4	05/21/2025	REVISED PER CITY OF CANTON
5	05/29/2025	REVISED PER CITY OF CANTON

UTILITY PLAN
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

SHEET NO.
8 of 21
PROJECT NO.
21-219

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PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.
THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 42" PIPE AND REPLACEMENT WITH 8 TOWNHOME LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONTAGES.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CHEROKEE COUNTY/CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA = 0.77 ACRES
DISTURBED AREA = 0.84 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES NOT LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 130570251E DATED 6/17/2019.

TREE PROTECTION AND REPLACEMENT NOTES:

- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE COMMUNITY DEVELOPMENT DEPARTMENT FOR AN INSPECTION BY THE COMMUNITY DEVELOPMENT DIRECTOR OR HIS/HER DESIGNEE.
- NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION/FIRST CERTIFICATE OF OCCUPANCY INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORNANCE COMPLIANCE.
- RECOMMENDED IRRIGATION SHALL BE BY SLOW RELEASE TREE WATERING RINGS, BY WATER TRUCK, OR HAND AT OWNER'S DISCRETION.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO THE CITY OF CANTON TREE PROTECTION ORDINANCE.
- THERE SHALL BE NO TREES OR SHRUBS PLANTED WITHIN THE RIGHT OF WAY OR IN THE ACCESS/UTILITY EASEMENTS.

LANDSCAPE NOTES:

- IF THE LANDSCAPE DESIGN OR PLANT MATERIAL ARE CHANGED IN ANY WAY FROM THE CITY OF CANTON'S APPROVED PLAN, TWO SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT FOR APPROVAL PRIOR TO ANY LANDSCAPE INSTALLATION. FAILURE TO DO SO WILL REQUIRE SUBMITTAL AND APPROVAL OF AS BUILT PLANS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS SPECIMENS FREE OF ALL PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- IMMEDIATELY SOAK NEW PLANTINGS WITH WATER.
- ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO DIGGING OPERATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFF QUANTITIES AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALL PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 3" OF CLEAN FRESH PINESTRAW OR MULCH OF OWNER'S CHOICE.
- PLANTING MIX: 3 PARTS TOPSOIL, 1 PART COARSE SAND, 1 PART PEAT MOSS OR APPROVED SUBSTITUTE.
- STAKING AND GUYING MATERIALS SHALL BE REMOVED AFTER ONE FULL GROWING SEASON TO PREVENT GIRDLING AND DAMAGE TO TREE TRUNKS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THIS IS COMPLETED.

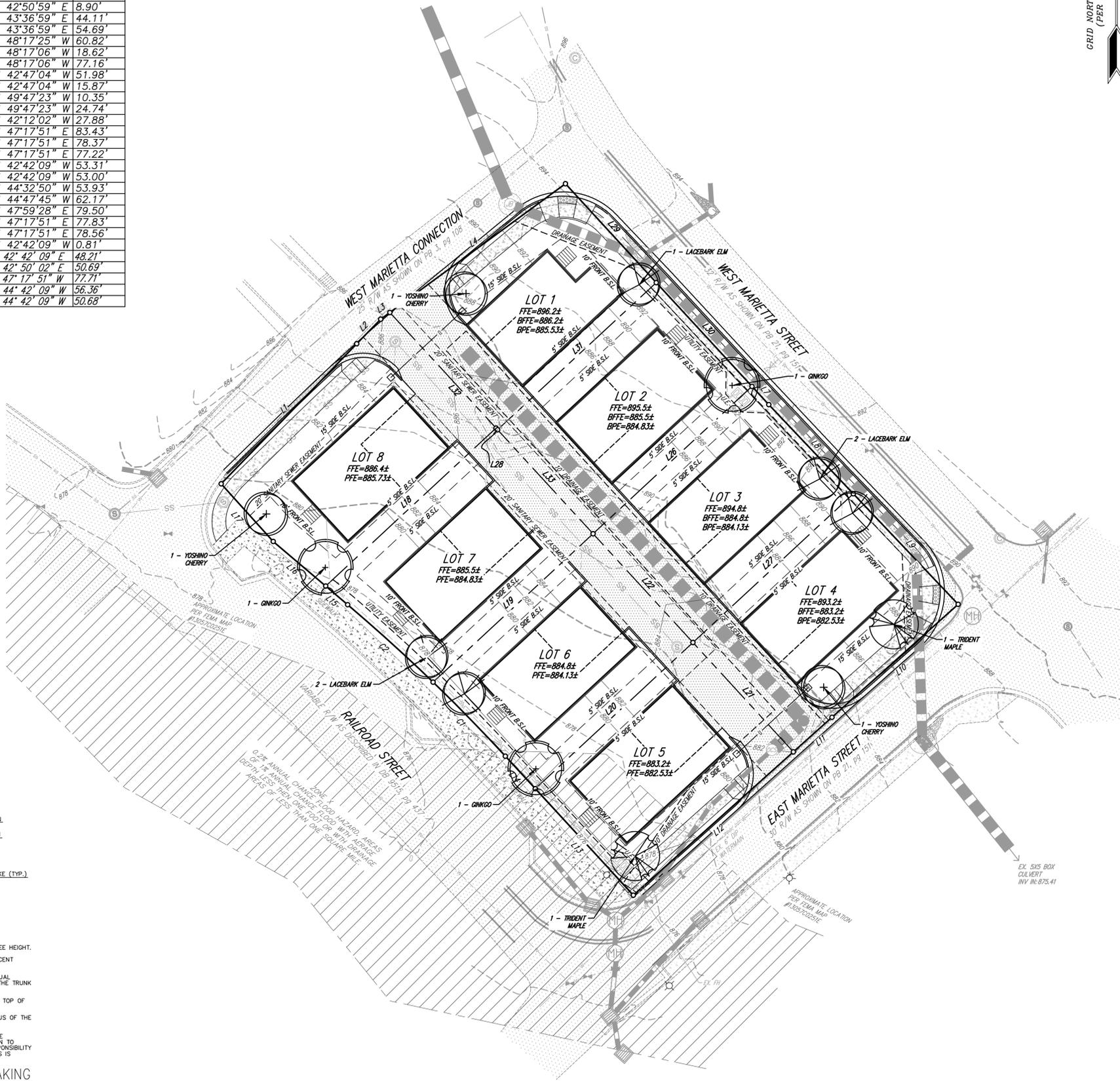
TREE UNITS REQUIRED:

20 UNITS/ACRE REQUIRED
TOTAL SITE: 0.77 ACRE
20 UNITS X 0.77 DISTURBED ACRES = 15.40 UNITS REQUIRED
SDF = 15.40 UNITS
EXISTING TREE DENSITY TO REMAIN = 0.00 UNITS
15.40 - 0.00 = 15.40 UNITS REQUIRED (RDF)
15.60 UNITS PROVIDED

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	642.55'	37.16'	37.15'	N 44°26'26" W
C2	642.55'	41.41'	41.40'	N 47°56'36" W

LINE	BEARING	DISTANCE
L1	N 44°11'39" E	69.97'
L2	N 44°27'53" E	12.32'
L3	N 53°52'43" E	4.08'
L4	N 53°52'43" E	78.23'
L5	S 42°42'09" E	53.66'
L6	S 42°49'55" E	45.23'
L7	S 42°50'59" E	8.90'
L8	S 43°36'59" E	44.11'
L9	S 43°36'59" E	54.69'
L10	S 48°17'25" W	60.82'
L11	S 48°17'06" W	18.62'
L12	S 48°17'06" W	77.16'
L13	N 42°47'04" W	51.98'
L14	N 42°47'04" W	15.87'
L15	N 49°47'23" W	10.35'
L16	N 49°47'23" W	24.74'
L17	N 42°12'02" W	27.88'
L18	N 47°17'51" E	83.43'
L19	N 47°17'51" E	78.37'
L20	N 47°17'51" E	77.22'
L21	N 42°42'09" W	53.31'
L22	N 42°42'09" W	53.00'
L23	N 44°32'50" W	53.93'
L24	N 44°47'45" W	62.17'
L25	N 47°59'28" E	79.50'
L26	N 47°17'51" E	77.83'
L27	N 47°17'51" E	78.56'
L28	N 42°42'09" W	0.81'
L29	S 42°42'09" E	48.21'
L30	S 42°50'02" E	50.69'
L31	S 47°17'51" W	77.71'
L32	N 44°42'09" W	56.36'
L33	N 44°42'09" W	50.68'

COMMON NAME	BOTANICAL NAME	PLANT LIST		REMARKS	UNITS
		QUANTITY	SIZE		
TREES					
LACEBARK ELM	ULMUS PARVIFOLIA	5	3" CAL.	FULL, STRAIGHT TRUNK	6.0
YOSHINO CHERRY	PRUNUS X YEDOENSIS	3	3" CAL.	FULL, STRAIGHT TRUNK	3.6
TRIDENT MAPLE	ACER BURGERIANUM	2	3" CAL.	FULL, STRAIGHT TRUNK	2.4
GINKGO	GINKGO BILOBA	3	3" CAL.	STRAIGHT TRUNK, MALE	3.6
TOTAL UNITS					15.6



GRID NORTH (GA WEST ZONE)
(PER REF. SURVEY)

LOCATION MAP
N.T.S.

OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL SURVEYOR
NO. 1868
MICHAEL G. BURTON
05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REVISED PER CITY OF CANTON AND CSWCC
3	05/02/2025	REVISED PER CITY OF CANTON
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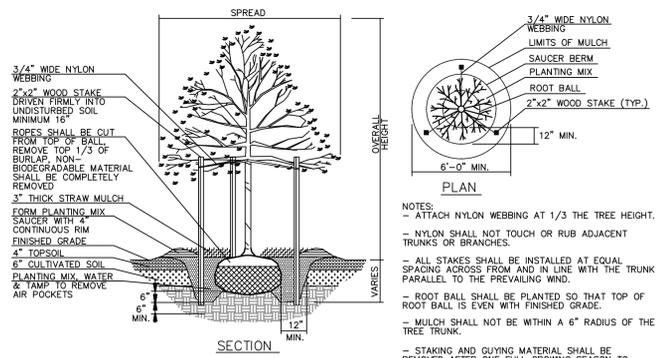
LANDSCAPE PLAN
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KOD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

GEORGIA811
www.Georgia811.com

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GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



DECIDUOUS TREE PLANTING/STAKING

PROJECT INFORMATION:
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DISTURBED AREA= 0.86 ACRES

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ZONING INFORMATION:
CITY OF CANTON
ZONING: CDE
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

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 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ON SITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
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 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
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 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

- EROSION & SEDIMENT CONTROL NOTES:**
- EROSION AND SEDIMENT SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTION BY OWNER, ENGINEER, OR INSPECTOR.
 - THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
 - MAINTENANCE OF ALL SOIL EROSION & SEDIMENTATION CONTROL MEASURES & PRACTICES WHETHER TEMPORARY OR PERMANENT SHALL BE AT ALL TIMES AT THE RESPONSIBILITY OF THE PROPERTY OWNER. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF CANTON OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE. ALL DISTURBED AREAS TO BE GRASSED, GRASSING TO BEGIN WITHIN 7 DAYS AFTER THE COMPLETION OF ANY LAND DISTURBANCE ACTIVITY, OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF 7 DAYS OR LONGER.
 - MAINTENANCE REQUIRED FOR EROSION CONTROL DEVICES. CLEAN OUT BEFORE ONE-HALF FULL.
 - PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE. ALL ENTRANCES TO THE SITE WHICH ARE NOT PROTECTED SHALL BE BARRICADED.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. CALL CITY OF CANTON FOR AN INSPECTION PRIOR TO PERFORMING ANY OTHER WORK. THE LOCATION OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES IN ORDER TO MAINTAIN A FUNCTIONING EROSION CONTROL SYSTEM.
 - EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALLS.
 - EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE FROM THE SITE IS NOT IMPEDED.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY.

SOIL CHARACTERISTICS				
SOIL SYMBOL	NAME	SLOPE LIMITATIONS	PERMEABILITY	SOIL GROUP
St1	STARR FINE LOAM	0-2% WELL DRAINAGE	0.57-1.98	B
WhE3	WICHAM SANDY CLAY LOAM	10-25% WELL DRAINAGE	0.57-1.98	B

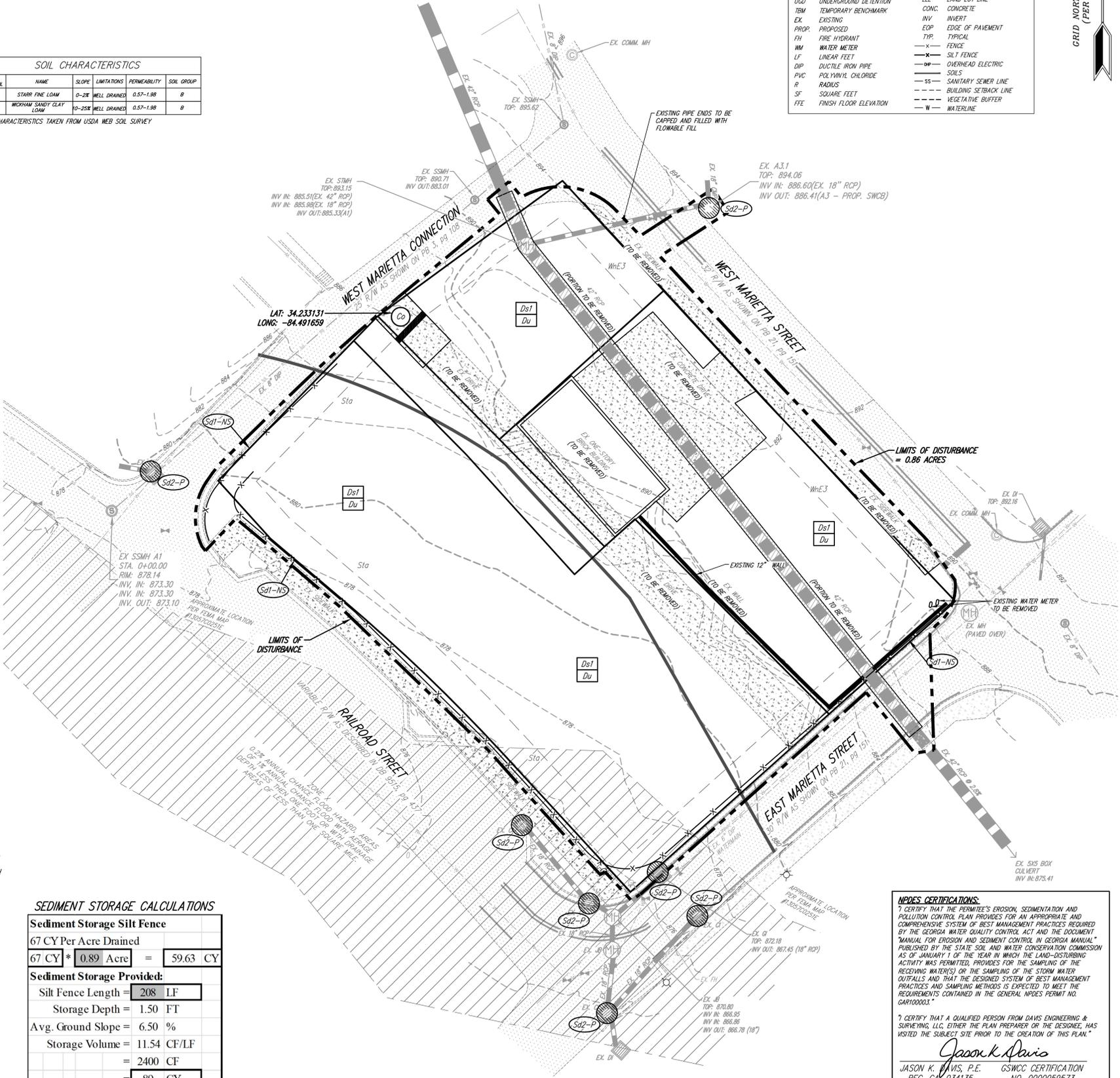
SOIL CHARACTERISTICS TAKEN FROM USDA WEBB SOIL SURVEY

SEDIMENT STORAGE CALCULATIONS

Sediment Storage Silt Fence		
67 CY Per Acre Drained		
67 CY * 0.89 Acre	=	59.63 CY
Sediment Storage Provided:		
Silt Fence Length = 208 LF		
Storage Depth = 1.50 FT		
Avg. Ground Slope = 6.50 %		
Storage Volume = 11.54 CF/LF		
	=	2400 CF
	=	89 CY

LEGEND

○ POWER POLE (PP)	C&G CURB AND GUTTER
HP HIGH POINT	IP IRON PIPE
DI DROP INLET	PLA PROPERTY LINE
JB JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
DWCB DOUBLE WING CATCH BASIN	PC POINT OF CURVATURE
HW HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP CORRUGATED METAL PIPE	N/O FORMERLY
HDPE HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
UGD UNDERGROUND DETENTION	LLL LAND LOT LINE
TBM TEMPORARY BENCHMARK	CONC. CONCRETE
EX EXISTING	INV INVERT
PROP. PROPOSED	EOP EDGE OF PAVEMENT
FH FIRE HYDRANT	TYP. TYPICAL
WM WATER METER	— X — FENCE
LF LINEAR FEET	— X — SKY FENCE
DIP DUCTILE IRON PIPE	— O — OVERHEAD ELECTRIC
PVC POLYVINYL CHLORIDE	— S — SOILS
R RADIUS	— SS — SANITARY SEWER LINE
S SQUARE FEET	— --- BUILDING SETBACK LINE
FEE FINISH FLOOR ELEVATION	— --- VEGETATIVE BUFFER
	— W — WATERLINE



EROSION CONTROL LEGEND

TEMPORARY CONSTRUCTION EXIT	Co
SEDIMENT BARRIER - NON-SENSITIVE	Sd1-NS
INLET SEDIMENT TRAP - FABRIC	Sd2-F
INLET SEDIMENT TRAP - PIGS IN BLANKET	Sd2-P
TEMPORARY MULCHING	Ds1
TEMPORARY GRASSING	Ds2
PERMANENT GRASSING	Ds3
SLOPE STABILIZATION	Ss
DUST CONTROL	Du

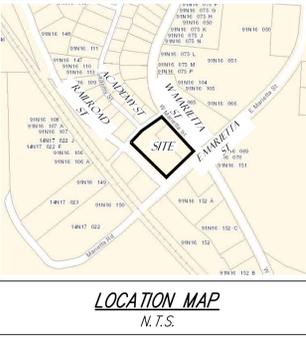
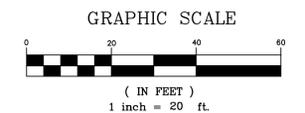
NOTES/CERTIFICATIONS:
I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MANUAL," PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NOTES PERMIT NO. GAR100003.

I CERTIFY THAT A QUALIFIED PERSON FROM DAVIS ENGINEERING & SURVEYING, LLC, EITHER THE PLAN PREPARER OR THE DESIGNER, HAS VISITED THE SUBJECT SITE PRIOR TO THE CREATION OF THIS PLAN.

Jason K. Davis
JASON K. DAVIS, P.E. GSWCC CERTIFICATION
REG. GA: 034135 NO. 0000059573



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com



05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND GSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
5	05/29/2025	REMOVED PER CITY OF CANTON

EROSION CONTROL PHASE I
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
10 of 21
PROJECT NO.
21-219

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PROJECT INFORMATION:
CURRENTLY, THIS PROPERTY IS PARTIALLY CLEARED WITH ROADS ON ALL FOUR SIDES.

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE REMOVAL OF ALL EXISTING IMPROVEMENTS INCLUDING A 42" PIPE AND REPLACEMENT WITH 8 SINGLE FAMILY DWELLING LOTS WITH RELOCATED STORM, NEW SEWER AND SIDEWALK ALONG FRONTAGES.

PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES NOT LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 1305700251E DATED 6/7/2019.

ZONING INFORMATION:
CITY OF CANTON
ZONING: CDE
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

- GENERAL NOTES:**
- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF CANTON, GEORGIA REQUIREMENTS.
 - ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
 - CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
 - MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
 - THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
 - MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
 - ALL HOPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
 - CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
 - ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
 - ALL EXISTING MAINHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

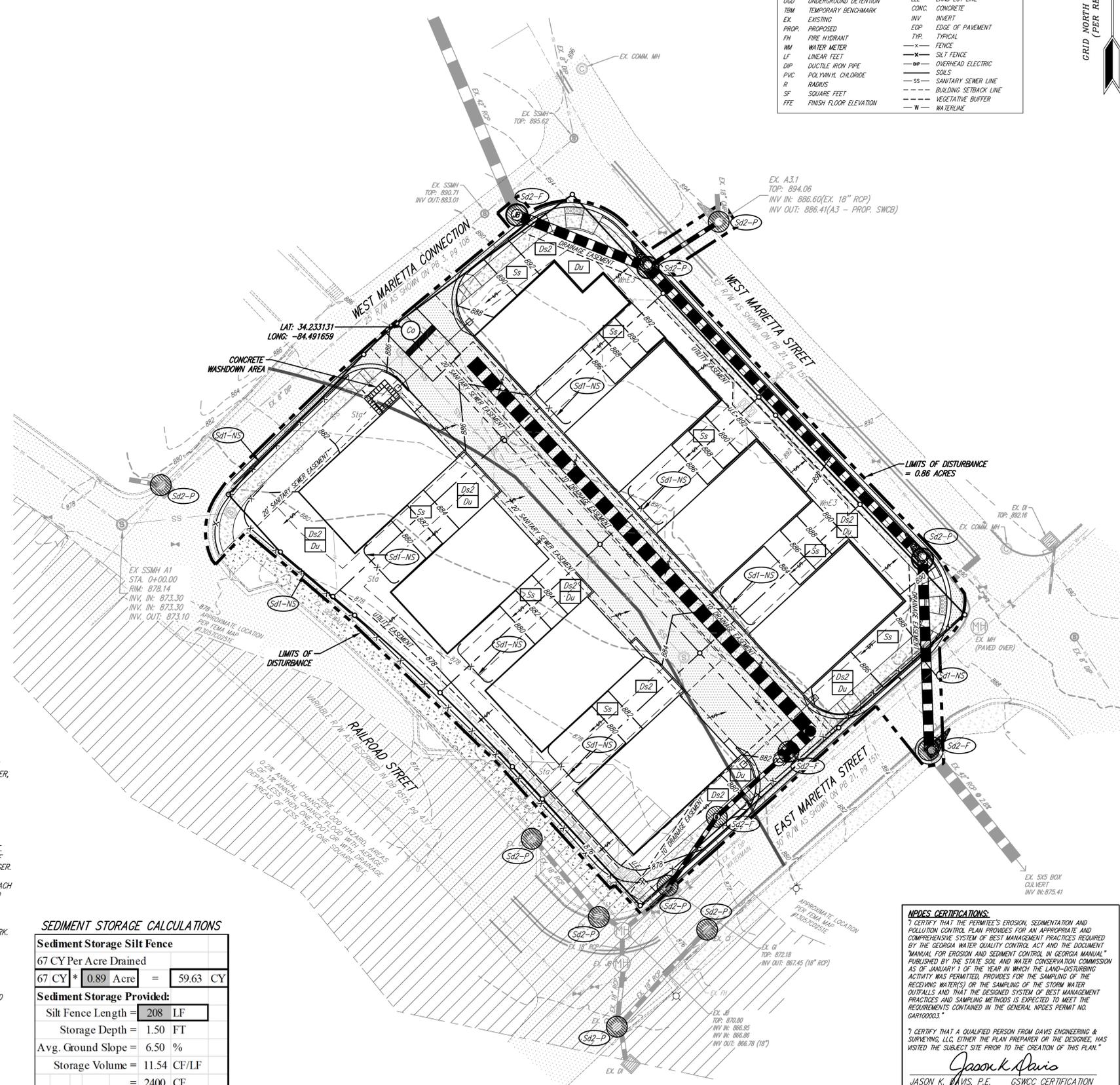
- EROSION & SEDIMENT CONTROL NOTES:**
- EROSION AND SEDIMENT SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTION BY OWNER, ENGINEER, OR INSPECTOR.
 - THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
 - MAINTENANCE OF ALL SOIL EROSION & SEDIMENTATION CONTROL MEASURES & PRACTICES WHETHER TEMPORARY OR PERMANENT SHALL BE AT ALL TIMES AT THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF CANTON OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
 - ALL DISTURBED AREAS TO BE GRASSED, GRASSING TO BEGIN WITHIN 7 DAYS AFTER THE COMPLETION OF ANY LAND DISTURBANCE ACTIVITY, OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF 7 DAYS OR LONGER.
 - MAINTENANCE REQUIRED FOR EROSION CONTROL DEVICES. CLEAN OUT BEFORE ONE-HALF FULL.
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 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY.

SEDIMENT STORAGE CALCULATIONS

Sediment Storage Silt Fence		
67 CY Per Acre Drained		
67 CY * 0.89 Acre =		59.63 CY
Sediment Storage Provided:		
Silt Fence Length =	208 LF	
Storage Depth =	1.50 FT	
Avg. Ground Slope =	6.50 %	
Storage Volume =	11.54 CF/LF	
	= 2400 CF	
	= 89 CY	

LEGEND

○ POWER POLE (PP)	C&G CURB AND GUTTER
HP HIGH POINT	IP IRON PIN
DI DROP INLET	P/L PROPERTY LINE
JB JUNCTION BOX	F.E.S.S. FLARED END SAFETY SECTION
OCS OUTLET CONTROL STRUCTURE	PT POINT OF TANGENT
DWCB DOUBLE WING CATCH BASIN	PC POINT OF CURVATURE
HW HEADWALL	OCS OUTLET CONTROL STRUCTURE
RCP REINFORCED CONCRETE PIPE	ELEV. ELEVATION
CMP CORRUGATED METAL PIPE	N/F NOW OR FORMERLY
HDPE HIGH DENSITY POLYETHYLENE	R/W RIGHT OF WAY
UGD UNDERGROUND DETENTION	LLL LAND LOT LINE
TBM TEMPORARY BENCHMARK	CONC. CONCRETE
EX EXISTING	INV INVERT
PROP. PROPOSED	EOP EDGE OF PAVEMENT
FH FIRE HYDRANT	TRP. TYPICAL
WM WATER METER	FENCE
LF LINEAR FEET	SILT FENCE
DIP DUCTILE IRON PIPE	SOILS
PVC POLYVINYL CHLORIDE	OVERHEAD ELECTRIC
R RADIUS	SS SANITARY SEWER LINE
S SQUARE FEET	--- BUILDING SETBACK LINE
FFE FINISH FLOOR ELEVATION	--- VEGETATIVE BUFFER
	W WATERLINE



EROSION CONTROL LEGEND

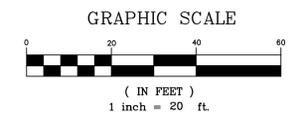
TEMPORARY CONSTRUCTION EXIT	Co
SEDIMENT BARRIER - NON-SENSITIVE	Sd1-NS
INLET SEDIMENT TRAP - FABRIC	Sd2-F
INLET SEDIMENT TRAP - PIGS IN BLANKET	Sd2-P
TEMPORARY MULCHING	Ds1
TEMPORARY GRASSING	Ds2
PERMANENT GRASSING	Ds3
SLOPE STABILIZATION	Ss
DUST CONTROL	Du

NEEDS CERTIFICATIONS:
I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MANUAL" PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL PERMIT NO. GA100003.
I CERTIFY THAT A QUALIFIED PERSON FROM DAVIS ENGINEERING & SURVEYING, LLC, EITHER THE PLAN PREPARED OR THE DESIGNER, HAS VISITED THE SUBJECT SITE PRIOR TO THE CREATION OF THIS PLAN.

Jason K. Davis
JASON K. DAVIS, P.E. GSWCC CERTIFICATION
REG. GA: 034135 NO. 0000059573



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DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
JASON K. DAVIS
05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND GSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/29/2025	REMOVED PER CITY OF CANTON

EROSION CONTROL PHASE II
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
11 of 21
PROJECT NO.
21-219

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PROPERTY/PARCEL INFORMATION:
ADDRESS: 301 W MARIETTA ST, CANTON, GA 30114
PARCEL NUMBER: 91N16 069 & 91N16 070
JURISDICTION: CITY OF CANTON

SITE DISTURBANCE:
TOTAL AREA= 0.77 ACRES
DISTURBED AREA= 0.86 ACRES

BOUNDARY INFORMATION OBTAINED FROM A SURVEY FOR FOLIA GROUP LLC COMPLETED BY DAVIS ENGINEERING & SURVEYING, LLC DATED 8/23/2023.

CONTOUR DATA FROM FIELD RUN TOPO COMPLETED BY DAVIS ENGINEERING AND SURVEYING, LLC.
CONTOUR INTERVAL: 2'

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVEGROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

ACCORDING TO AN INTERPRETATION OF THE FEMA NATIONAL FLOOD HAZARD LAYER, THIS PROPERTY DOES NOT LIE WITHIN A FEDERAL FLOOD HAZARD AREA PER FIRM PANEL 1305700251E DATED 6/7/2019.

ZONING INFORMATION:
CITY OF CANTON
ZONING: CDE
FRONT: 10'
SIDE: 5' INTERIOR (15' ON SIDE CORNER)
REAR: 10'

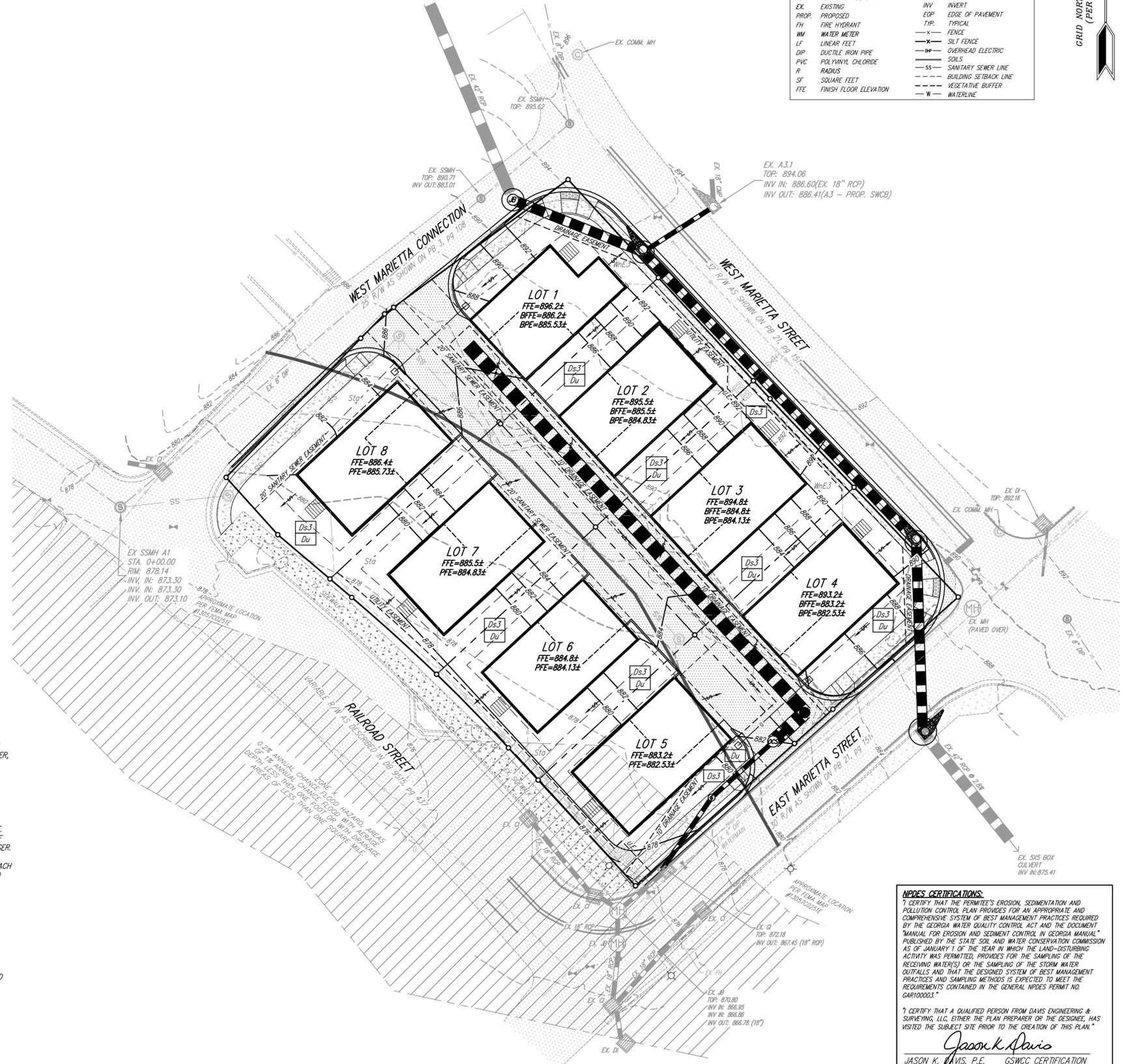
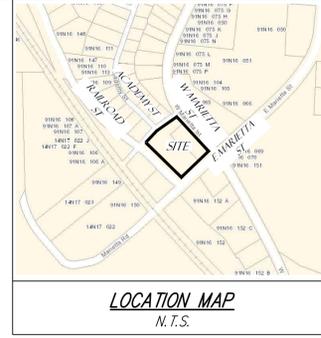
- GENERAL NOTES:**
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 - CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
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 - TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
 - NO MATERIAL CAN BE BURIED ON SITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
 - CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
 - MAXIMUM CUT OR FILL SLOPES SHALL BE 2' HORIZONTAL: 1' VERTICAL.
 - THIS SITE DOES NOT CONTAIN WETLANDS.
 - THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - EXISTING FEATURES SHOWN BY DASHED LINES OR SHADDED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
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 - CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
 - ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
 - ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
 - ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
 - MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

EROSION & SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTION BY OWNER, ENGINEER, OR INSPECTOR.
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- MAINTENANCE OF ALL SOIL EROSION & SEDIMENTATION CONTROL MEASURES & PRACTICES WHETHER TEMPORARY OR PERMANENT SHALL BE AT ALL TIMES AT THE RESPONSIBILITY OF THE PROPERTY OWNER.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF CANTON OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- ALL DISTURBED AREAS TO BE GRASSED, GRASSING TO BEGIN WITHIN 7 DAYS AFTER THE COMPLETION OF ANY LAND DISTURBANCE ACTIVITY, OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF 7 DAYS OR LONGER.
- MAINTENANCE REQUIRED FOR EROSION CONTROL DEVICES. CLEAN OUT BEFORE ONE-HALF FULL.
- PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE. ALL ENTRANCES TO THE SITE WHICH ARE NOT PROTECTED SHALL BE BARRICADED.
- IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. CALL CITY OF CANTON FOR AN INSPECTION PRIOR TO PERFORMING ANY OTHER WORK. THE LOCATION OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES IN ORDER TO MAINTAIN A FUNCTIONING EROSION CONTROL SYSTEM.
- EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALLS.
- EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE FROM THE SITE IS NOT IMPEDED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY.

LEGEND

PP	POWER POLE (PP)	C&G	CURB AND GUTTER
HP	HIGH POINT	IP	IRON PIPE
DI	DROP INLET	P/A	PROPERTY LINE
JB	JUNCTION BOX	F.E.S.S.	FLARED END SAFETY SECTION
OCS	OUTLET CONTROL STRUCTURE	PT	POINT OF TANGENT
DWCB	DOUBLE WING CATCH BASIN	PC	POINT OF CURVATURE
HW	HEADWALL	OCS	OUTLET CONTROL STRUCTURE
RCP	REINFORCED CONCRETE PIPE	ELEV.	ELEVATION
CMP	CORRUGATED METAL PIPE	N/W	NOW OR FORMERLY
HDPE	HIGH DENSITY POLYETHYLENE	R/W	RIGHT OF WAY
UGD	UNDERGROUND DETENTION	LLL	LAND LOT LINE
TBM	TEMPORARY BENCHMARK	CONC.	CONCRETE
EX	EXISTING	INV	INVERT
PROP.	PROPOSED	EQP	EDGE OF PAVEMENT
EH	FIRE HYDRANT	TYP.	TYPICAL
WM	WATER METER	F	FENCE
LF	LINEAR FEET	S	SILT FENCE
DIP	DUCTILE IRON PIPE	OE	OVERHEAD ELECTRIC
PVC	POLYVINYL CHLORIDE	S	SOILS
R	RADIUS	SS	SANITARY SEWER LINE
SF	SQUARE FEET	---	BUILDING SETBACK LINE
FTE	FINISH FLOOR ELEVATION	---	VEGETATIVE BUFFER
		---	WATERLINE



EROSION CONTROL LEGEND

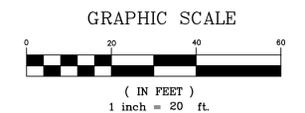
Co	TEMPORARY CONSTRUCTION EXIT
Sd1-NS	SEDIMENT BARRIER - NON-SENSITIVE
Sd2-F	INLET SEDIMENT TRAP - FABRIC
Sd2-P	INLET SEDIMENT TRAP - PIGS IN BLANKET
Ds1	TEMPORARY MULCHING
Ds2	TEMPORARY GRASSING
Ds3	PERMANENT GRASSING
Ss	SLOPE STABILIZATION
Du	DUST CONTROL

NOTES/CERTIFICATIONS:
I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MANUAL" PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NOTES PERMIT NO. GAR100003.
I CERTIFY THAT A QUALIFIED PERSON FROM DAVIS ENGINEERING & SURVEYING, LLC EITHER THE PLAN PREPARER OR THE DESIGNER, HAS VISITED THE SUBJECT SITE PRIOR TO THE CREATION OF THIS PLAN.

Jason K. Davis
JASON K. DAVIS, P.E. GSWCC CERTIFICATION
REG. GA: 034135 NO. 0000059573



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
JASON K. DAVIS
05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND GSWCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
5	05/29/2025	REMOVED PER CITY OF CANTON

EROSION CONTROL PHASE III
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
12 of 21
PROJECT NO.
21-219

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- SEE SHEET 15.
- SEE SHEETS 10-15.
- LIMITS OF DISTURBANCE DO NOT EXCEED 50 ACRES, 0.86 ACRES DISTURBED FOR THIS PROJECT.
- 24-HOUR CONTACT: PEPE MEDINA (678) 384-9447
- PRIMARY PERMITTEE: PEPE MEDINA
ADDRESS: 837 GA-400 SUITE 108, DAWSONVILLE, GA 30534
EMAIL: pepecehoy@gmail.com
PHONE: (678) 384-9447
- THE PROPOSED PROJECT IS LOCATED ON 0.77 ACRES AND WILL CONSIST OF A DISTURBED AREA OF 0.86 ACRES.
- CONSTRUCTION EXIT COORDINATES : LAT:34.233131' LONG:-84.491659'
- SEE ALL SHEETS.
- THE SITE CURRENTLY CONTAINS AN EXISTING BUILDING WITH PARKING AND A GRASSED FIELD. THE PROPOSED DEVELOPMENT CONSISTS OF 8 SINGLE FAMILY DWELLINGS.
- SEE SHEETS 2-5 & 8-12.
- THE INITIAL RECEIVING WATER(S) FOR THIS PROJECT IS CANTON CREEK, LOCATED APPROX. 1,100' TO THE SOUTH OF THE SITE. THERE WILL BE NO ADVERSE IMPACT TO DOWNSTREAM PROPERTIES BY THE POST-DEVELOPMENT RUNOFF FROM THE SITE.
- I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

- INSPECTIONS
A. PERMITTEE REQUIREMENTS:
(1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
(2) MEASURE AND RECORD RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
(3) CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. STATE OF GEORGIA PAGE 24 OF 36 DEPARTMENT OF NATURAL RESOURCES PERMIT NO. GAR100001 ENVIRONMENTAL PROTECTION DIVISION
(4) CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
(5) BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
(6) A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5) OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2 OF THIS PERMIT.

Jason K Davis
P.E. 34135; GSWCC CERTIFICATION #59573

7/24/2024
DATE

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

Jason K Davis
P.E. 34135; GSWCC CERTIFICATION #59573

7/24/2024
DATE

- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION IN ACCORDANCE WITH PART IV.A.5 PAGE 25 OF THE PERMIT.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- THERE ARE NO BUFFER ENCROACHMENTS FOR THIS SITE. THIS SITE DOES NOT HAVE STATE WATERS REQUIRING AN UNDISTURBED BUFFER. THIS SITE DOES NOT CONTAIN WETLANDS.
- ANY AMENDMENTS OR REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- THIS PROJECT DOES NOT DISCHARGE WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED OF A BIOTA IMPAIRED STREAM SEGMENT.
- TMDL IMPLEMENTATION PLAN IS NOT APPLICABLE.
- CONCRETE WASHDOWN AREA SHOWN ON ES&PC SHEETS. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- SOIL CLEANUP AND CONTROL PRACTICES:
A. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL. LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SOIL CLEANUP WILL BE CLEARLY
B. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND SANDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
C. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.
E. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
F. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
G. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-241-4113.
H. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURE PLAN PREPARED BY THAT LICENSED PROFESSIONAL.
CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT / MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

- APPROPRIATE CONTROLS AND MEASURES WILL BE IMPLEMENTED ON THE CONSTRUCTION SITE TO CONTROL POLLUTANTS IN STORM WATER AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. A DENSE AND VIGOROUS VEGETATIVE COVER WILL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS, AS WELL AS, INFILTRATION OF THE FIRST 1" OF RAINFALL OVER THE IMPERVIOUS AREAS.
- AT A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE PLASTIC SHEETING TO COVER BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.
- PRODUCT SPECIFIC PRACTICES:
• PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ONSITE VEHICLES AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATERS, NATURAL DRAINS, AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
• PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
• CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.
• FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.
• BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

- SEE THIS SHEET

*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

- REPORTING:
1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY THE EPD. SAMPLING REPORTS MUST BE SUBMITTED TO THE EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
A. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
B. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
C. THE DATE(S) ANALYSES WERE PERFORMED;
D. THE TIME(S) ANALYSES WERE INITIATED;
E. THE NAME(S) OF THE INDIVIDUAL(S) WHO PERFORMED THE ANALYSES;
F. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED; AND
G. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS.
H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU."
1. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

- RETENTION OF RECORDS:
1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.D.5. OF THIS PERMIT;
D. A COPY OF ALL MONITORING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;
F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
G. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(1)(C) OF THIS PERMIT.
- COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, REPORTS, PLANS, MONITORING REPORTS, MONITORING INFORMATION, INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART V OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.
- SAMPLING REQUIREMENTS:
THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY:
A. SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:
(1) A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;
(2) A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;
(3) WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE MONITORED, A RATIONALE MUST BE INCLUDED FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND
(4) ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.
- SAMPLE TYPE:
ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.
(1) SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
(2) SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
(3) LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
(4) MANUAL, AUTOMATIC OR RISING STAKE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION. UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED, DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
(5) SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.
- SAMPLING POINTS:
(1) FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:
(A) THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
(B) THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
(C) IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).
(D) CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.
(E) THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
(F) THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
(G) PERMITTEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIP RAP, GABIONS, PERMANENT MULCHES OR GEOTEXTILES) HAVE BEEN USED. PERMANENT VEGETATION SHALL CONSIST OF PLANTED TREES, SHRUBS, PERENNIAL WINES; A CROP OF PERENNIAL VEGETATION APPROPRIATE FOR THE TIME OF YEAR AND REGION; OR A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION. FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION.
(H) ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.

APPENDIX B
NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLES

		SURFACE WATER DRAINAGE AREA, SQUARE MILES									
		0-4.99	5-9.99	10-24.99	25-49.99	50-49.99	100-249.99	250-499.99	500+	500+	500+
SITE SIZE, ACRES	1.00-10	25	25	50	75	150	200	500	500	500	500
	10.01-25	25	25	50	75	150	200	500	500	500	500
	25.01-50	25	25	50	75	150	200	500	500	500	500
	50.01-100	20	20	25	25	50	50	100	150	150	150
	100.01+	20	20	25	25	50	50	100	150	150	150

		WATER SURROUNDING WARM WATER FISHERIES SURFACE WATER DRAINAGE AREA, SQUARE MILES									
		0-4.99	5-9.99	10-24.99	25-49.99	50-49.99	100-249.99	250-499.99	500+	500+	500+
SITE SIZE, ACRES	1.00-10	25	25	50	75	150	200	500	500	500	500
	10.01-25	25	25	50	75	150	200	500	500	500	500
	25.01-50	25	25	50	75	150	200	500	500	500	500
	50.01-100	20	20	25	25	50	50	100	150	150	150
	100.01+	20	20	25	25	50	50	100	150	150	150

- N/A
- EROSION AND SEDIMENT CONTROL MEASURES (SITE SPECIFIC). INITIALLY, PERIMETER TYPE NS SILT FENCE (Ss1), DISTURBED AREA STABILIZATION (Ds1), DUST CONTROL (Du) AND CONSTRUCTION EXITS (Cx) WILL BE INSTALLED ALONG WITH TEMPORARY SEDIMENT TRAP, INLET SEDIMENT TRAP (Sd2-P) AS SHOWN ON THE PHASE I ES&PC PLAN. TEMPORARY SEEDING (Ds2) AND DUST CONTROL (Du) SHALL TAKE PLACE FOR INTERMEDIATE STABILIZATION WITH SLOPE STABILIZATION (Ss), AND INLET SEDIMENT TRAPS (Sd2-F). THE FINAL PHASE WILL INCLUDE DUST CONTROL (Du) AND FINAL GRASSING (Ds3).
- FOR GRAPHIC SCALE AND NORTH ARROW SEE SHEETS 2-5 & 8-12.
- 2 FOOT CONTOURS SHOWN ON SHEET 5.
- ALTERNATIVE BMP'S N/A.
- N/A.
- THERE ARE NO STATE WATERS OR OTHER REGULATIONS FROM CHEROKEE COUNTY/JURISDICTION REQUIRING A 25, 50 FOOT, OR OTHER BUFFER
- NO STATE WATERS OR WETLANDS LOCATED WITHIN 200' OF THE LIMITS OF CONSTRUCTION THAT REQUIRE AN UNDISTURBED BUFFER.
- SEE HYDROLOGY REPORT.
- SEE HYDROLOGY REPORT.
- PRE-DEVELOPED CURVE NUMBER: 76; POST-DEVELOPED CURVE NUMBER: 89
- PROPOSED STORM PIPE IS CONNECTING TO EXISTING STORM SYSTEM.
-

- VEGETATIVE PLAN
CONVENTIONAL SEEDING: (SLOPES DO NOT EXCEED 3:1); GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDING PREPARATION. A SEEDBED WILL BE PREPARED BY SCRAPING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL AND HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY WITHIN 24 HOURS AFTER SEEDING. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISKS SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.
HYDRAULIC SEEDING: (SLOPES STEEPER THAN 3:1); WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OF HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25% OF THE GROUND SURFACE.

SOIL CHARACTERISTICS					
SOIL SYMBOL	NAME	SLOPE	LIMITATIONS	PERMEABILITY	SOIL GROUP
S10	STONY FINE LOAM	0-2%	WELL DRAINED	0.57-1.88	B
WH3	WORM SANDY CLAY LOAM	0-25%	WELL DRAINED	0.57-1.88	B

SOIL CHARACTERISTICS TAKEN FROM USDA WEB SOIL SURVEY

- SEE SHEETS 10-12 FOR LIMITS OF DISTURBANCE FOR EACH PHASE.
- SEE SHEETS 10 & 11 FOR SEDIMENT STORAGE CALCULATIONS.
- SEE SHEET 10-12, 14 & 15.
- SEE SHEETS 14 & 15 FOR STRUCTURAL DETAILS.
- VEGETATIVE PLAN
CONVENTIONAL SEEDING: (SLOPES DO NOT EXCEED 3:1); GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDING PREPARATION. A SEEDBED WILL BE PREPARED BY SCRAPING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL AND HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY WITHIN 24 HOURS AFTER SEEDING. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISKS SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.
HYDRAULIC SEEDING: (SLOPES STEEPER THAN 3:1); WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OF HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25% OF THE GROUND SURFACE.

EROSION, SEDIMENTATION & POLLUTION CONTROL LEGEND	
[Bf] BUFFER ZONE	[On1] TEMPORARY DOWNDRAIN STRUCTURE
[Cs] COASTAL DUNE STABILIZATION	[On2] TEMPORARY DOWNDRAIN STRUCTURE
[Ds1] DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	[Fr] FILTER RING
[Ds2] DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	[G] GABION
[Ds3] DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	[Gr] GRADE STABILIZATION STRUCTURE
[Ds4] DISTURBED AREA STABILIZATION (WITH SODDING)	[Lv] LEVEL SPREADER
[Du] DUST CONTROL ON DISTURBED AREAS	[Rd] ROCK FILTER DAM
[Es] EROSION CONTROL MATTING AND BLANKETS	[Rt] RETAINING WALL
[Pm] POLYACRYLAMIDE (PAM)	[Rr] RETROFIT
[Sb] STREAMBANK STABILIZATION (WITH PERMANENT VEGETATION)	[Sd1] SEDIMENT BARRIER
[Tb] TACKIFIERS AND BINDERS	[Sd2] INLET SEDIMENT TRAP
[Cd] CHECK DAM	[Sd3] INLET SEDIMENT TRAP
[Ch] HAYBALE CHECK DAM	[Sd3] TEMPORARY SEDIMENT BASIN
[Ch] CHANNEL STABILIZATION	[Sc] TEMPORARY STREAM CROSSING
[Cc] CONSTRUCTION EXIT	[St] STORM DRAIN OUTLET PROTECTION
[Cr] CONSTRUCTION ROAD STABILIZATION	[Su] SURFACE ROUGHENING
[Dc] STREAM DIVERSION CHANNEL	[Tp] TOPSOILING
[Di] DIVERSION	[Wl] VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

Jason K Davis
Level II Certified Design Professional

CERTIFICATION NUMBER: 000059573
ISSUED: 12/14/2021 EXPIRES: 12/14/2024

PHASES	MONTHS						
	1	2	3	4	5	6	7
INITIAL PHASE							
WHILE CONSTRUCTION OPERATIONS ARE IN PROGRESS: EROSION, SEDIMENTATION AND POLLUTION CONTROL AND TREE PROTECTION FENCES	█	█					

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REVISION PER CITY OF CANTON AND GSNCC
3	05/02/2025	REVISION PER CITY OF CANTON
4	05/21/2025	REVISION PER CITY OF CANTON
5	05/29/2025	REVISION PER CITY OF CANTON

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

NOTE: GRAIN STRAW OR GRASS HAY SHALL BE SPREAD AS A BEDDING MATERIAL FOR ALL PERMANENTLY GRASSED AREAS AT A MINIMUM DEPTH OF 4" TO 6". PINE NEEDLES MAY BE SUBSTITUTED AT A MINIMUM DEPTH OF 3" TO 5".

NOTE: AGRICULTURAL LIME IS REQUIRED FOR ALL GRADED AREAS AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS DETERMINE OTHERWISE.

SPECIES	RATE PER 1,000 SQ FT	RATE PER ACRE ¹	PLANTING DATES			YEARS TO APPLY FERTILIZER	FERTILIZER ANALYSIS				N TOP-DRESSING RATE *
			Mts.-L'stone	Piedmont	Coastal		N	P	K	RATE *	
WEeping LOVEGRASS AND VIRGATA OR SERICEA LESPEDEZA	0.1 lbs.	4 lbs.	3/15-6/15	3/1-6/15	2/1-6/15	FIRST	6	12	12	1500	50
SERICEA LESPEDEZA SEEDBEARING HAY WITH OVERSEEDED WEeping LOVEGRASS	1.38 lbs.	3 tons	10/1-3/1	10/1-3/1	10/15-2/1	FIRST	6	12	12	1500	50
HULLED COMMON BERMUDAGRASS AND SERICEA LESPEDEZA	0.2 lbs.	10 lbs.	3/15-6/15	3/1-6/15	2/15-6/15	SECOND	0	10	10	1000	-
UNHULLED COMMON BERMUDAGRASS AND VIRGATA OR SERICEA LESPEDEZA SEED HAY	0.2 lbs.	10 lbs.	10/1-3/1	11/1-2/1	2/15-6/15	FIRST	6	12	12	1500	50
TALL FESCUEGRASS AND CLEAN COMBINE RUN VIRGATA OR SERICEA LESPEDEZA	1.1 lbs.	50 lbs.	8/1-11/1	3/1-4/15	8/15-11/1	FIRST	6	12	12	1500	0-50 IN SPRING
HULLED COMMON BERMUDAGRASS	0.2 lbs.	10 lbs.	3/15-6/15	3/1-6/15	2/15-6/15	SECOND	0	10	10	1000	-
						FIRST	6	12	12	1500	50-100
						SECOND	10	10	10	800	50-100

- 1. REDUCE SEEDING RATES BY 50% WHEN DRILLED.
- * FERTILIZER/N TOP-DRESSING RATES INDICATED ARE IN LBS/ACRE.

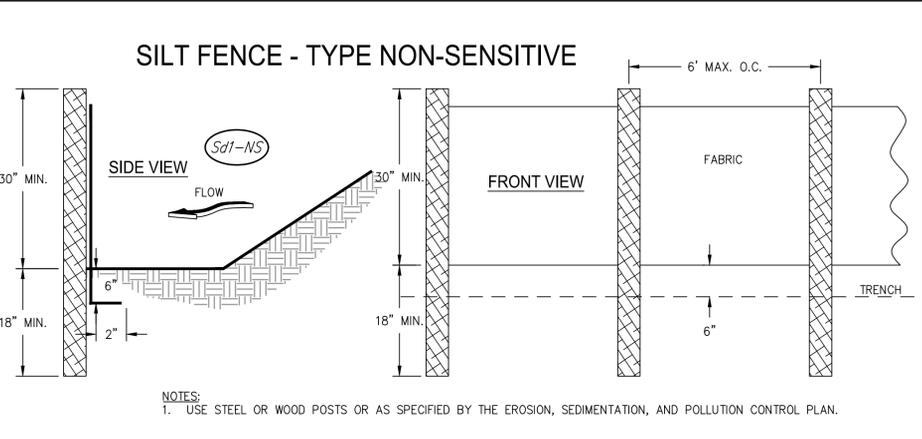
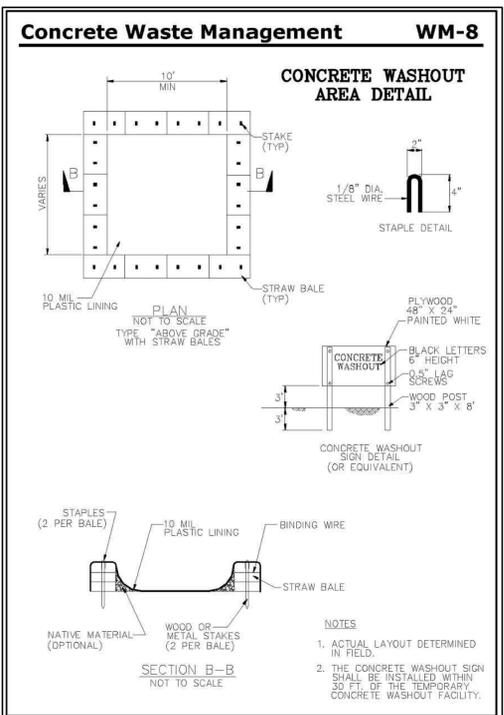
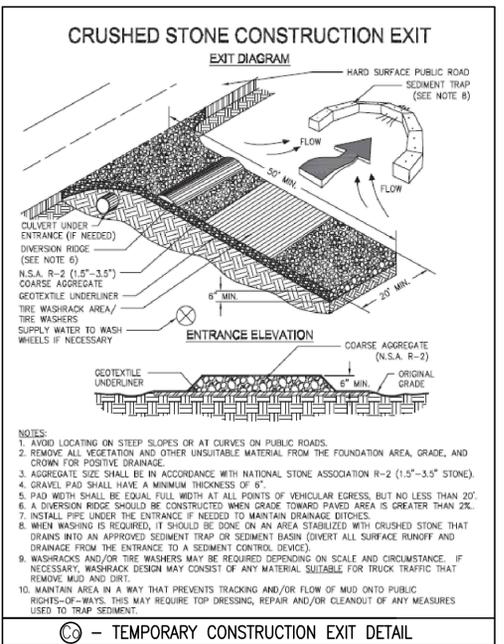
Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) MATERIALS AND RATES:

MATERIAL	RATE
STRAW OR HAY	2-4" DEEP
WOOD WASTE, CHIPS, SAW DUST OR BARK	2-3" DEEP (ABOUT 6-9 TONS/ACRE)
MATting OR NETTING	ACCORDING TO MANUFACTURERS RECOMMENDATIONS
POLYETHYLENE FILM	COMPLETELY COVER AREA

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS) SEEDING RATES FOR TEMPORARY SEEDINGS¹

SPECIES	RATE PER 1,000 SQ FT	RATE PER ACRE ²	PLANTING DATES		
			Mts.-L'stone	Piedmont	Coastal
RYE (ALONE)	3.9 POUNDS	3 bu.	7/15-12/1	8/15-1/1	9/1-3/1
(IN MIXTURES)	0.6 POUNDS	1/2 bu.			
ANNUAL RYEGRASS	0.9 POUND	40 lbs.	8/1-5/1	8/1-4/15	8/15-4/1
ANNUAL LESPEDEZA (IN MIXTURES)	0.2 POUNDS	10 lbs.	2/1-5/1	2/15-5/1	1/15-3/15
WEeping LOVEGRASS (ALONE)	0.1 POUNDS	4 lbs.	3/15-6/15	3/15-6/15	2/15-6/15
(IN MIXTURES)	0.05 POUNDS	2 lbs.			
SUDANGRASS	1.4 POUND	60 lbs.	4/1-9/1	4/1-9/1	3/1-8/1
BROWNTOP (ALONE)	0.9 POUNDS	40 lbs.	4/1-7/1	4/1-7/15	4/1-7/15
MILLET (IN MIXTURES)	0.2 POUNDS	10 lbs.			
WHEAT (ALONE)	4.1 POUNDS	3 bu.	9/1-1/1	9/1-1/1	9/15-2/1
(IN MIXTURES)	0.7 POUNDS	1/2 bu.			

- ¹ TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL CROWN OUT PERENNIALS IF SEEDED TOO HEAVILY.
- ² REDUCE SEEDING RATES BY 50% WHEN DRILLED.



EROSION CONTROL NOTES & DETAILS
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: **KDD**
CHECKED BY: **OH**
LAND LOT: **166**
DISTRICT: **14th**
SECTION: **2nd**
CITY: **CANTON**
COUNTY: **CHEROKEE**
DATE: **05/02/2025**

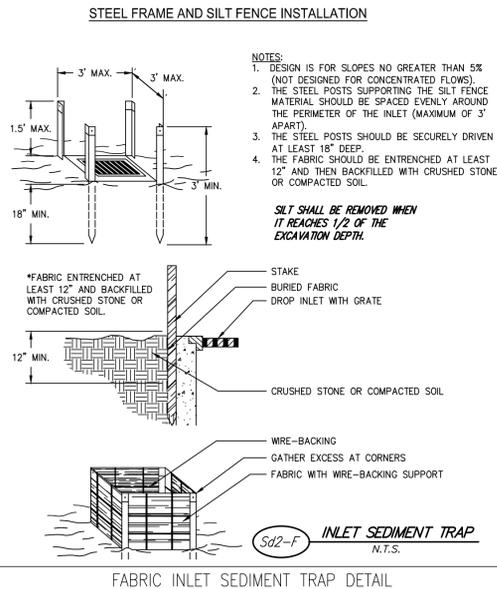
NPDES CERTIFICATIONS:

I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MANUAL," PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GA0100003.

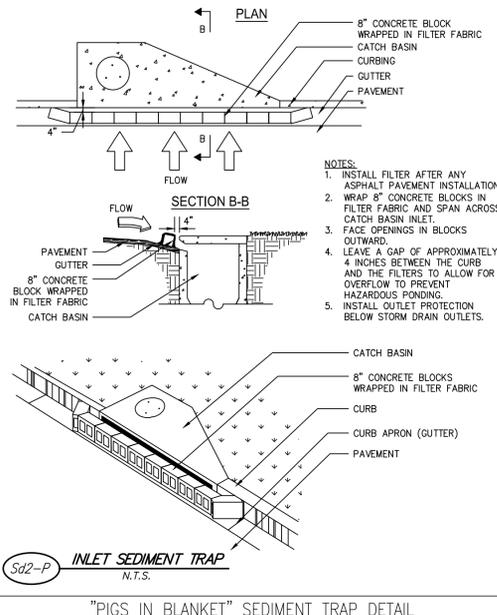
I CERTIFY THAT A QUALIFIED PERSON FROM DAVIS ENGINEERING & SURVEYING, LLC, EITHER THE PLAN PREPARER OR THE DESIGNER, HAS VISITED THE SUBJECT SITE PRIOR TO THE CREATION OF THIS PLAN.

JASON K. DAVIS
JASON K. DAVIS, P.E. GSNCC CERTIFICATION
REG. GA. 034135 NO. 0000059573

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



CURB INLET FILTER "PIGS IN BLANKET"



Dust Control on Disturbed Areas



DEFINITION
Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

PURPOSE
•To prevent surface and air movement of dust from exposed soil surfaces.
•To reduce the presence of airborne substances that may be harmful or injurious to human health, welfare, or safety, or to animals or plant life.

CONDITIONS
This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment.

METHOD AND MATERIALS

A. Temporary Methods

Mulches. See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to specification Tac - Tackifiers. Resins should be used according to manufacturer's recommendations.

Vegetative Cover. See specification Ds2 - Disturbed Area Stabilization (With Temporary Seeding).

Spray-on Adhesives. These are used on mineral soils (not effective on muck soils). Keep traffic off these areas. Refer to specification Tac - Tackifiers.

Tillage. This practice is designed to roughen and bring clods to the surface. It is an emergency

GSWCC 2016 Edition

6-55

measure that should be used before wind erosion starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.

Irrigation. This is generally done as an emergency treatment. Site is sprinkled with water until the surface is wet. Repeat as needed.

Barriers. Solid board fences, snowfences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind erosion.

Calcium Chloride. Apply at rate that will keep surface moist. May need retreatment.

B. Permanent Methods

Permanent Vegetation. See specification Ds3 - Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and large shrubs may afford valuable protection if left in place.

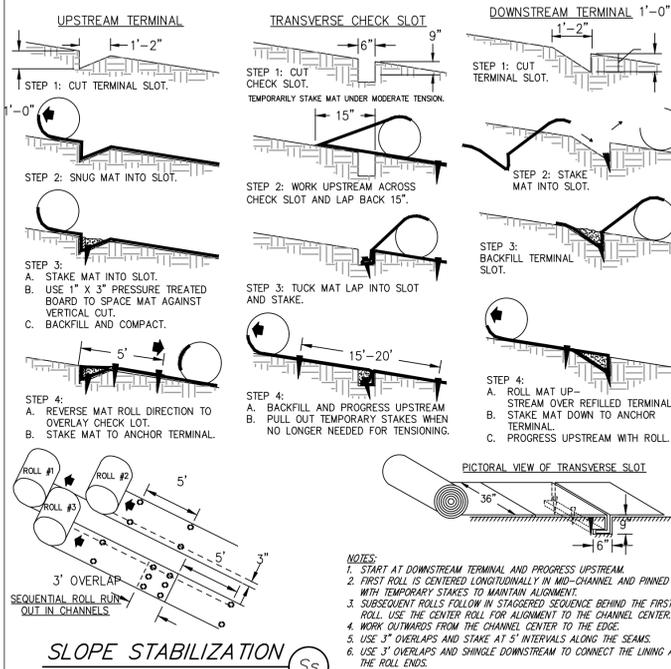
Topsailing. This entails covering the surface with less erosive soil material. See specification Tp - Topsailing.

Stone. Cover surface with crushed stone or coarse gravel. See specification Cr-Construction Road Stabilization.

Du

Ss

BLANKET AND MATTING CROSS-SECTIONS



NPDES CERTIFICATIONS:

I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA WATERSHEDS" PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GA0100003.

I CERTIFY THAT A QUALIFIED PERSON FROM DAVIS ENGINEERING & SURVEYING, LLC, EITHER THE PLAN PREPARER OR THE DESIGNEE, HAS VISITED THE SUBJECT SITE PRIOR TO THE CREATION OF THIS PLAN.

Jason K. Davis
JASON K. DAVIS, P.E. GSWCC CERTIFICATION
REG. GA. 034135 NO. 000005973

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

STAND ALONE CONSTRUCTION PROJECTS

SWCD: Limestone Valley Region 1

Project Name: 21.219.1 Folia Group Marietta St. Address: 301 W. Marietta St. Canton, GA 30114

Local Issuing Authority: City of Canton Date on Plans: July 24th, 2024

Name & Email of person filling out checklist: Kenneth Decker kdecke@desengineers.com

Plan Included TO BE SHOWN ON ES&PC PLAN

Page # Y/N

15 Y

10-15 Y

13 Y

13 Y

13 Y

13 Y

13 Y

1-21 Y

12 Y

2-5,8-12 Y

15 Y

13 Y

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



05/29/2025

REVISION

DATE

DESCRIPTION

1 07/24/2024 INITIAL SUBMITTAL

2 11/01/2024 REVISION PER CITY OF CANTON AND GSWCC

3 05/02/2025 REVISION PER CITY OF CANTON

4 05/21/2025 REVISION PER CITY OF CANTON

5 05/29/2025 REVISION PER CITY OF CANTON

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SHEET NO.

15 OF 21

PROJECT NO.

21-219

Effective January 1, 2024

EROSION CONTROL NOTES & DETAILS

GAMESA PROPERTIES LLC-MARIETTA STREET

LAND LOT 166

14th DISTRICT, 2nd SECTION

CITY OF CANTON

CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD

CHECKED BY: OH

LAND LOT: 166

DISTRICT: 14th

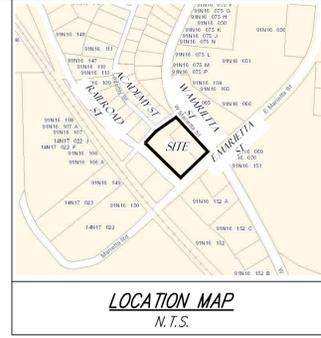
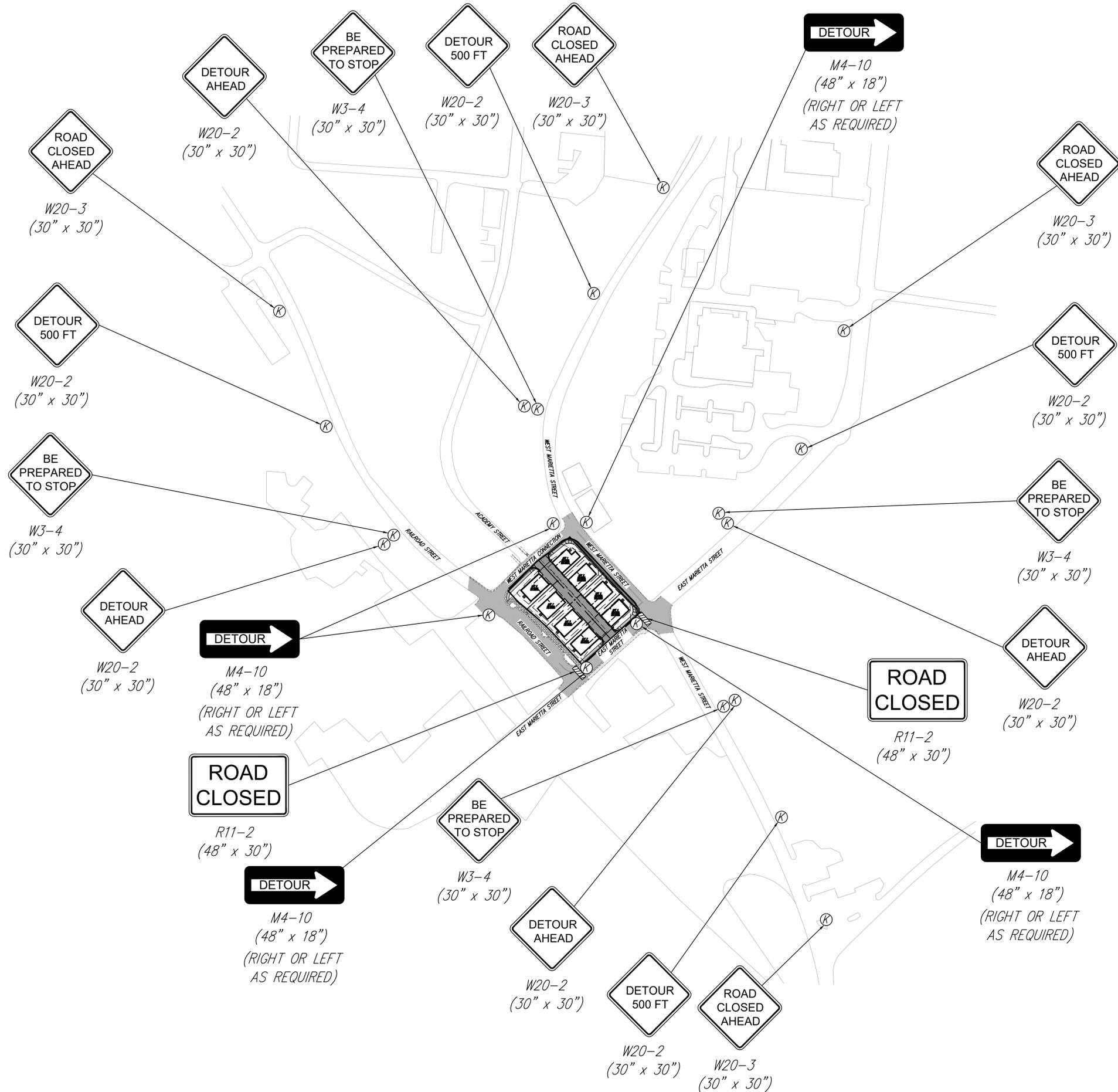
SECTION: 2nd

CITY: CANTON

COUNTY: CHEROKEE

DATE: 05/02/2025

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OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

LEGEND

(K) PORTABLE MOUNTED SIGN - FLAGS NOT REQUIRED

||||| TYPE III BARRICADES

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
Jason K. Davis
JASON K. DAVIS
05/29/2025

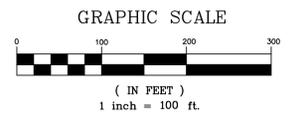
REVISION	DATE	DESCRIPTION	INITIAL	SUBMITTAL
1	07/24/2024	REMOVED PER CITY OF CANTON AND GSNCC		
2	11/01/2024	REMOVED PER CITY OF CANTON		
3	05/02/2025	REMOVED PER CITY OF CANTON		
4	05/21/2025	REMOVED PER CITY OF CANTON		
	05/29/2025	REMOVED PER CITY OF CANTON		

ROAD CLOSURE PLAN (EAST MARIETTA STREET)
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY:	KDD
CHECKED BY:	OH
LAND LOT:	166
DISTRICT:	14th
SECTION:	2nd
CITY:	CANTON
COUNTY:	CHEROKEE
DATE:	05/02/2025



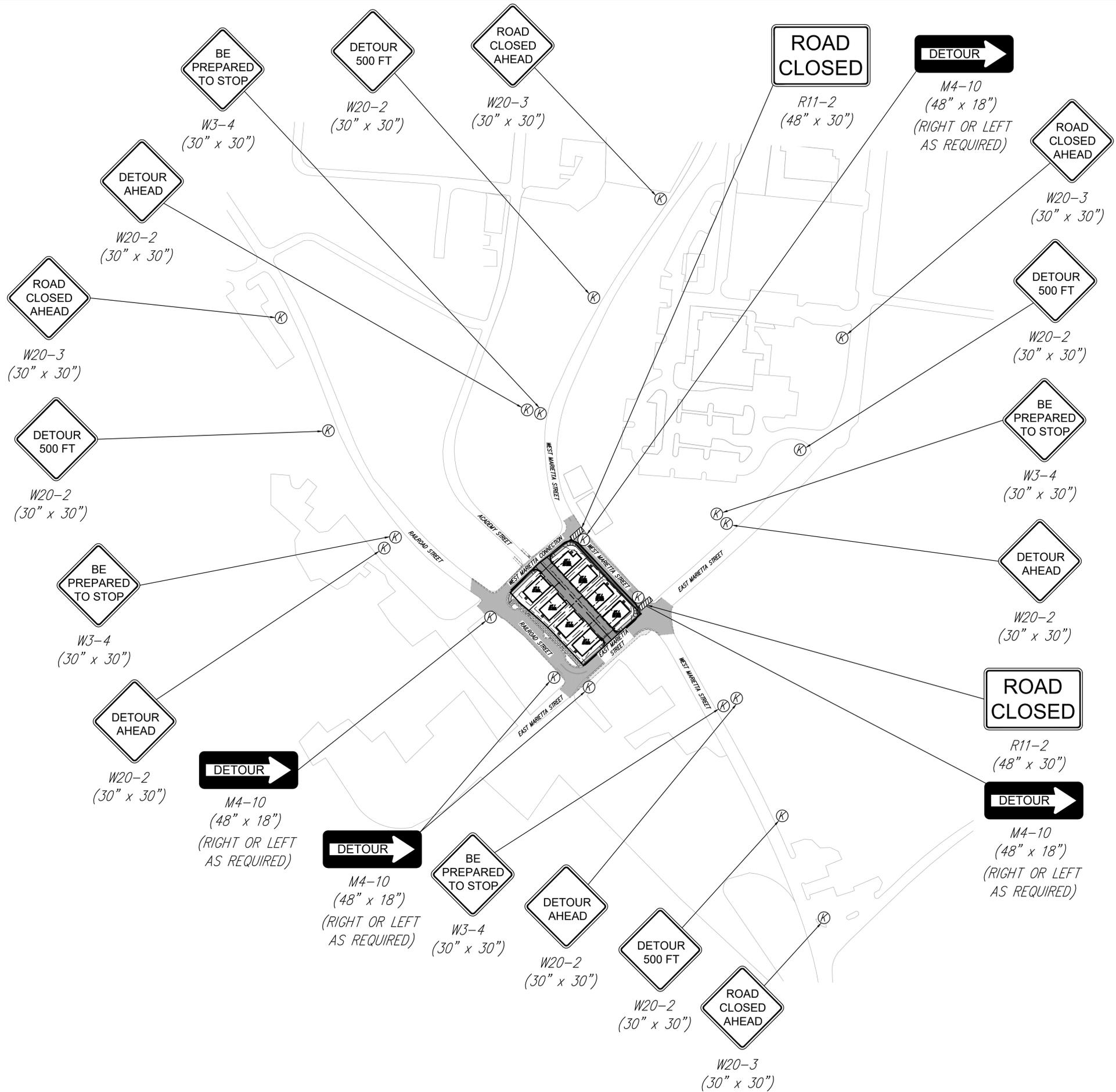
IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



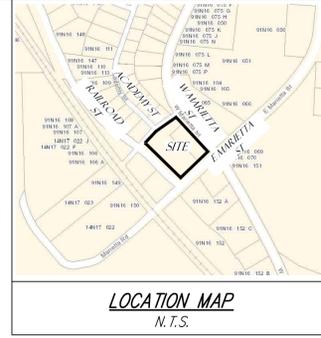
SHEET NO.
16 of 21

PROJECT NO.
21-219

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GRID NORTH (GA WEST ZONE)
(PER REF. SURVEY)



OWNER
N/F GAMESA PROPERTIES LLC
5025 DEEN ROAD
MARIETTA, GA 30066

DEVELOPER
PEPE MEDINA
837GA-400 SUITE 105
DAWSONVILLE, GA 30534
(678) 384-9447

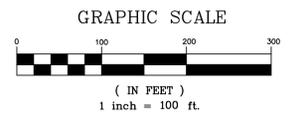
24-HOUR CONTACT
PEPE MEDINA
(678) 384-9447
pepecelhay@gmail.com

LEGEND

	PORTABLE MOUNTED SIGN - FLAGS NOT REQUIRED
	TYPE III BARRICADES



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



DES DAVIS
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DAWSONVILLE, GA 30534
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REGISTERED PROFESSIONAL ENGINEER
No. 04443
JASON K. DAVIS
N.T.S.
05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REVISED PER CITY OF CANTON AND GSNCC
3	05/02/2025	REVISED PER CITY OF CANTON
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	05/29/2025	REVISED PER CITY OF CANTON

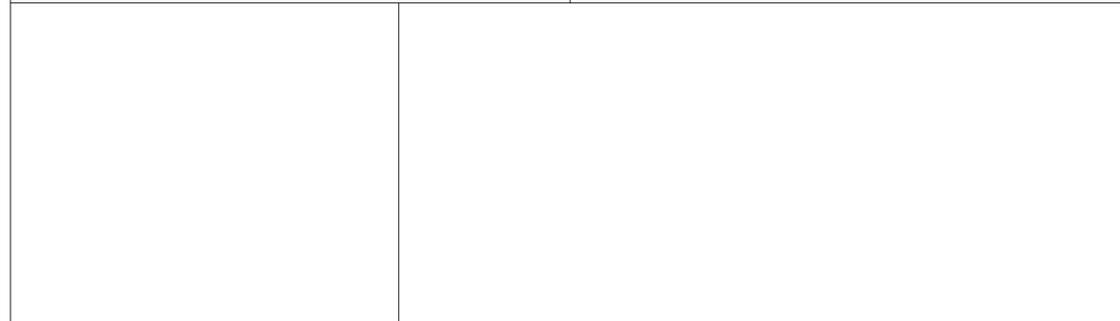
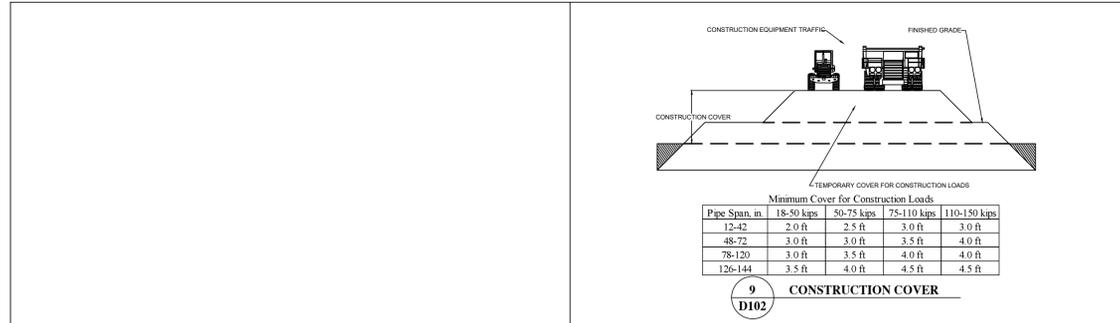
ROAD CLOSURE PLAN (WEST MARIETTA STREET)
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY:	KDD
CHECKED BY:	OH
LAND LOT:	166
DISTRICT:	14th
SECTION:	2nd
CITY:	CANTON
COUNTY:	CHEROKEE
DATE:	05/02/2025

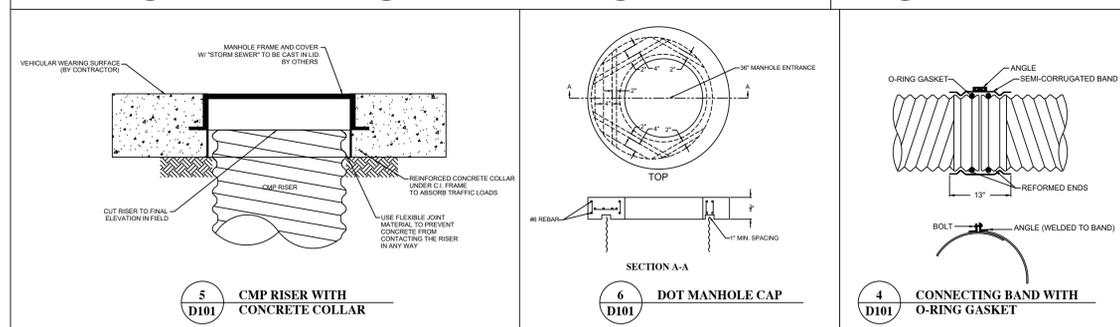
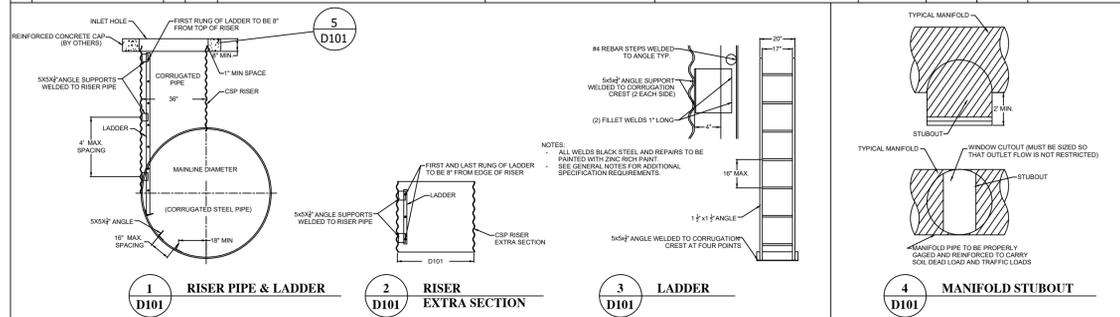
SHEET NO.
17 OF 21

PROJECT NO.
21-219

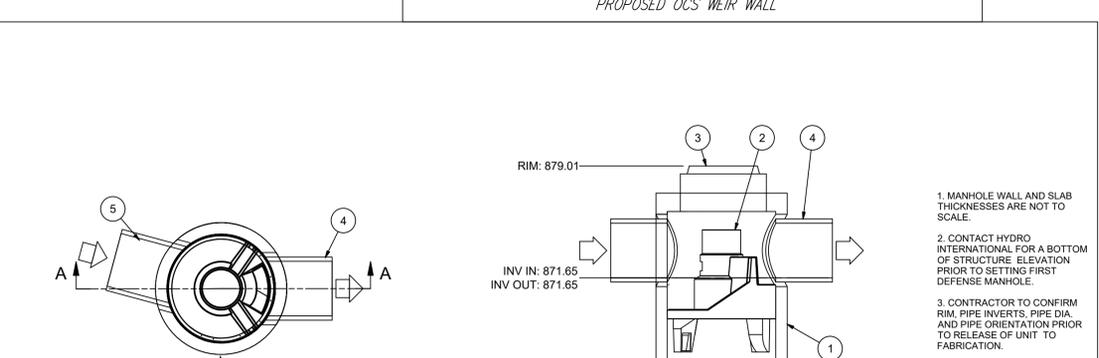
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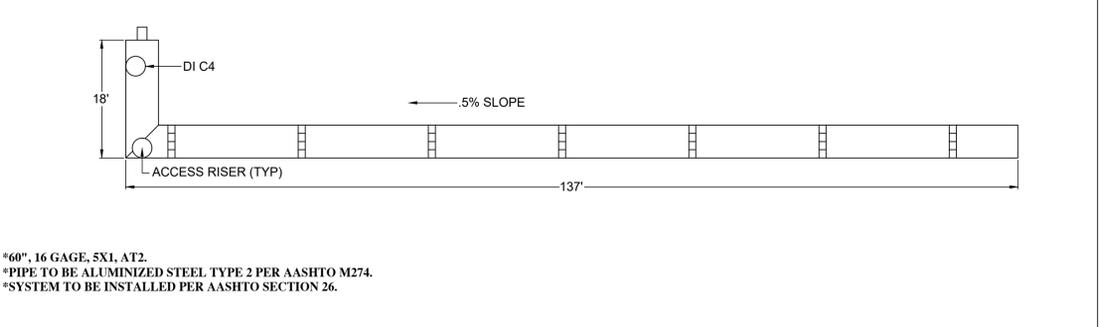
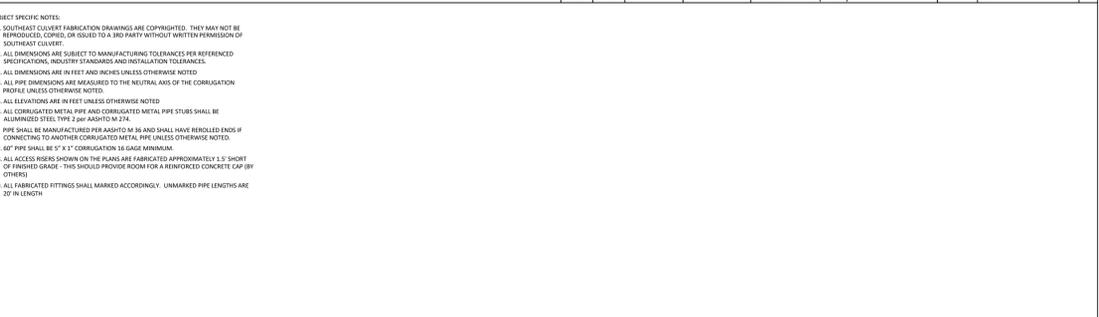
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REV	DESCRIPTION	BY	DATE



REV	DESCRIPTION	BY	DATE



REV	DESCRIPTION	BY	DATE

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
No. 034133
JASON K. DAVIS
05/29/2025

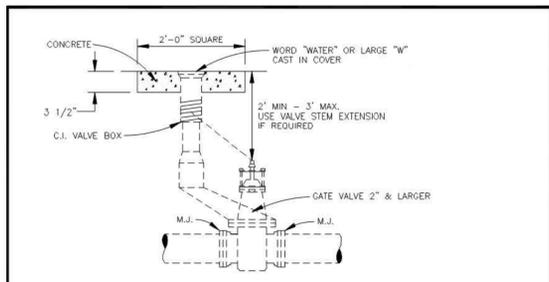
REVISION	DATE	DESCRIPTION
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3	05/02/2025	REMOVED PER CITY OF CANTON
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STORMWATER MANAGEMENT DETAILS
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY:	KDD
CHECKED BY:	OH
LAND LOT:	166
DISTRICT:	14th
SECTION:	2nd
CITY:	CANTON
COUNTY:	CHEROKEE
DATE:	05/02/2025

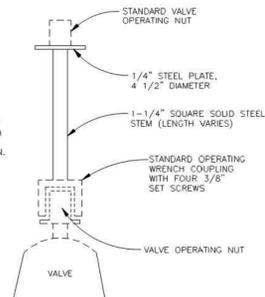
SHEET NO.
18 OF 21

PROJECT NO.
21-219



TYPICAL VALVE INSTALLATION

- NOTES:
- TOP OF EXTENSION SHALL BE NO MORE THAN THREE FEET BELOW FINAL GRADE.
 - CONTRACTOR IS RESPONSIBLE FOR IN FIELD MEASUREMENT OF DEPTH OF PIPE COVER TO DETERMINE NEED FOR VALVE STEM EXTENSION.

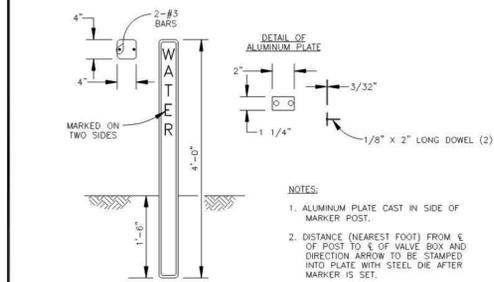


VALVE STEM EXTENSION DETAIL

CITY OF CANTON, GEORGIA

TYPICAL VALVE INSTALLATION
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W718



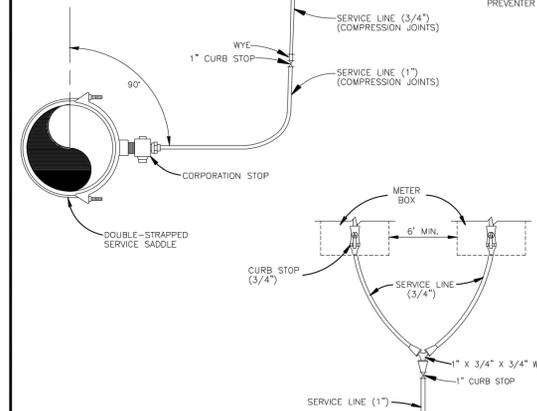
DETAIL OF CONCRETE VALVE MARKER

- NOTES:
- ALUMINUM PLATE CAST IN SIDE OF MARKER POST.
 - DISTANCE (NEAREST FOOT) FROM E OF POST TO E OF VALVE BOX AND DIRECTION ARROW TO BE STAMPED INTO PLATE WITH STEEL DIE AFTER MARKER IS SET.

CITY OF CANTON, GEORGIA

CONCRETE VALVE MARKER
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W719



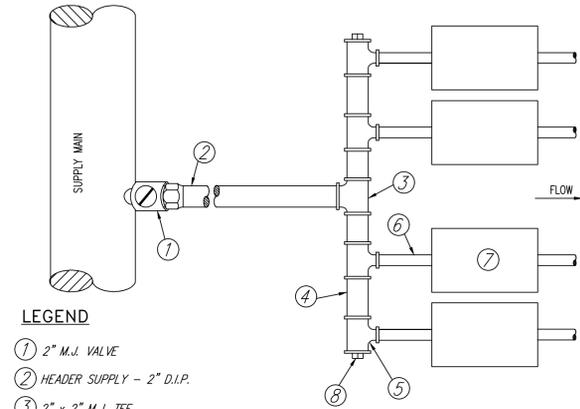
PLAN FOR WYE

CITY OF CANTON, GEORGIA

RESIDENTIAL WATER METER INSTALLATION
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W704

- NOTES:
- MAXIMUM OF 4'-1" METERS.



LEGEND

- 2" M.J. VALVE
- HEADER SUPPLY - 2" D.I.P.
- 2" x 2" M.J. TEE
- HEADER - 2" D.I.P.
- 2" x 1" M.J. TEE
- SERVICE PIPE - 1" P.V.C.
- METER BOX - SINGLE SERVICE
- 2" M.J. PLUG

STANDARD DETAIL

METER BANK - 2" SUPPLY

SHEET 1 OF 1

DES DAVIS
ENGINEERING & SURVEYING
24 DAWSON VILLAGE
WAY SOUTH
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMIT
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3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
	05/29/2025	REMOVED PER CITY OF CANTON

CONSTRUCTION DETAILS
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

SHEET NO.
19 OF 21
PROJECT NO.
21-219

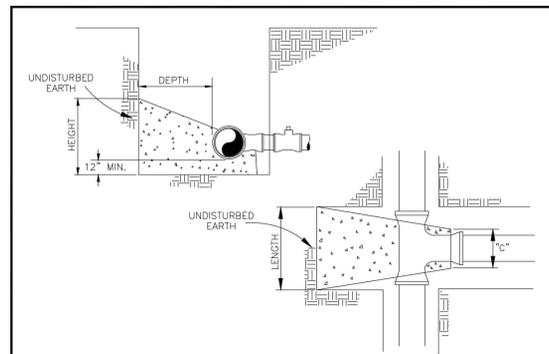


TABLE FOR CONCRETE BLOCKING (250 PSI TEST PRESSURE)

SIZE	DEPTH (FT.)	LENGTH (FT.)	"C" (IN.)	HEIGHT (FT.)	VOLUME (C.Y.)	THRUST (LB.)
6"	1.0	1.0	12	0.10	7.070	
8"	1.7	3.25	14	2.0	0.27	12,560
10"	2.0	4.0	18	2.5	0.50	19,635
12"	2.5	4.5	20	3.25	0.91	28,275
16"	3.0	5.0	26	5.0	1.77	50,265
20"	4.0	7.0	32	5.75	3.69	78,540
24"	6.0	9.0	40	6.5	7.94	113,100

- NOTES:
- SOIL BEARING STRENGTH OF 2000 PSI IS ASSUMED IN THE CALCULATIONS ABOVE. ENGINEER SHALL VERIFY.
 - COVER GLANDS AND BOLTS WITH POLYETHYLENE BEFORE PLACING CONCRETE.
 - ALLOW CONCRETE TO SET UP A MINIMUM OF 6 HOURS BEFORE PLACING BACKFILL.
 - CONCRETE SHALL BE 3000 PSI, CLASS A.
 - ALL IRON FITTINGS SHALL BE BLOCKED AND SUPPORTED AS SHOWN ABOVE.

CONCRETE BLOCKING-FOR TEES AND PLUGS

CITY OF CANTON, GEORGIA

CONCRETE BLOCKING DETAIL
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W714

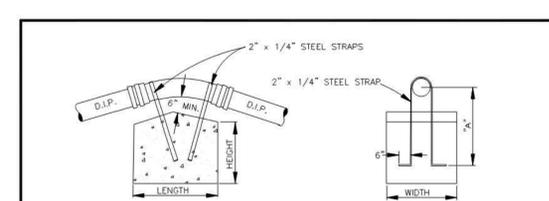


TABLE FOR CONCRETE BLOCKING (250 PSI TEST PRESSURE)

FITTING	SIZE	HEIGHT (FT.)	LENGTH (FT.)	WIDTH (FT.)	VOLUME (C.Y.)	"A" (IN.)	LENGTH OF STRAP (IN.)
11 1/4" BEND	6"	2.0	2.0	2.5	0.37	24	69.5
11 1/4" BEND	8"	3.0	2.2	2.5	0.61	24	72.5
11 1/4" BEND	10"	3.0	3.0	3.0	1.00	26	80.0
11 1/4" BEND	12"	3.0	4.0	3.0	1.33	30	91.0
11 1/4" BEND	16"	3.0	5.0	4.5	2.50	30	97.0
11 1/4" BEND	20"	3.3	6.0	5.0	3.67	36	115.0
11 1/4" BEND	24"	4.0	6.5	5.5	5.30	36	122.0
22 1/2" BEND	6"	2.5	3.0	2.5	0.69	24	69.5
22 1/2" BEND	8"	3.1	3.5	3.0	1.21	24	72.5
22 1/2" BEND	10"	3.2	4.0	4.0	1.90	26	80.0
22 1/2" BEND	12"	3.5	5.0	4.5	2.92	30	91.0
22 1/2" BEND	16"	4.7	5.5	5.0	4.79	36	109.0
22 1/2" BEND	20"	6.0	6.0	5.7	7.60	45	133.0
22 1/2" BEND	24"	8.0	5.7	6.5	10.98	60	170.0

- NOTES:
- COVER GLANDS AND BOLTS WITH POLYETHYLENE BEFORE PLACING CONCRETE.
 - ALLOW CONCRETE TO SET UP A MINIMUM OF 6 HOURS BEFORE PLACING BACKFILL.
 - CONCRETE SHALL BE 3000 PSI, CLASS A.
 - ALL IRON FITTINGS SHALL BE BLOCKED AND SUPPORTED AS SHOWN ABOVE.

CONCRETE BLOCKING-VERTICAL BENDS-UPWARD THRUST

CITY OF CANTON, GEORGIA

CONCRETE BLOCKING DETAIL
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W715

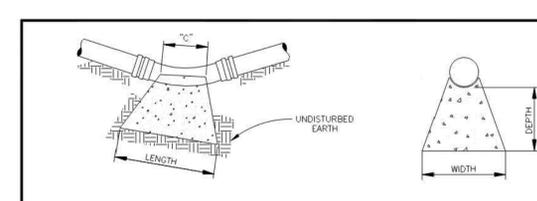


TABLE FOR CONCRETE BLOCKING (250 PSI TEST PRESSURE)

FITTING	SIZE	DEPTH (FT.)	LENGTH (FT.)	"C" (IN.)	WIDTH (FT.)	VOLUME (C.Y.)	THRUST (LB.)
11 1/4" BEND	6"	1.0	2.0	6	1.0	0.04	1,385
11 1/4" BEND	8"	1.0	2.0	7	1.0	0.05	2,465
11 1/4" BEND	10"	1.0	2.0	9	1.0	0.07	3,650
11 1/4" BEND	12"	1.0	2.5	11	1.5	0.12	5,550
11 1/4" BEND	16"	2.0	2.5	12	2.1	0.25	9,860
11 1/4" BEND	20"	2.0	3.5	15	2.5	0.45	15,400
11 1/4" BEND	24"	2.0	4.0	18	3.0	0.70	22,185
22 1/2" BEND	6"	1.0	2.0	6	1.0	0.04	2,760
22 1/2" BEND	8"	1.0	2.0	7	1.5	0.06	4,905
22 1/2" BEND	10"	1.0	2.0	9	2.0	0.10	7,665
22 1/2" BEND	12"	1.0	3.0	11	2.0	0.16	11,040
22 1/2" BEND	16"	2.0	3.5	12	3.0	0.45	19,625
22 1/2" BEND	20"	2.0	4.0	15	4.0	0.74	30,665
22 1/2" BEND	24"	3.0	4.0	18	4.5	1.47	44,160
45° BEND	6"	1.0	2.0	6	1.5	0.06	5,415
45° BEND	8"	1.0	2.5	7	2.0	0.10	9,925
45° BEND	10"	2.0	3.5	9	2.5	0.31	15,040
45° BEND	12"	2.0	3.5	11	3.0	0.41	21,655
45° BEND	16"	3.0	5.0	12	4.0	1.45	38,445
45° BEND	20"	4.0	6.0	15	5.0	2.05	60,145
45° BEND	24"	4.0	7.5	18	6.5	3.35	91,610
90° BEND	6"	1.0	2.5	12	2.0	0.13	10,005
90° BEND	8"	2.0	3.0	14	3.0	0.35	17,285
90° BEND	10"	2.5	4.5	18	3.0	0.74	27,785
90° BEND	12"	3.0	5.0	20	4.0	1.24	40,000
90° BEND	16"	4.0	6.5	26	5.5	2.91	71,125
90° BEND	20"	4.0	7.0	32	7.0	4.68	111,135
90° BEND	24"	5.0	10.0	40	8.0	8.50	160,035

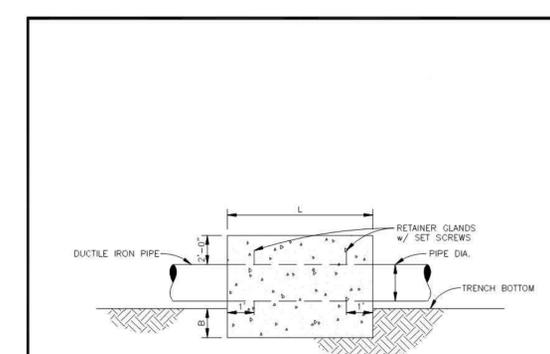
- NOTES:
- SOIL BEARING STRENGTH OF 2000 PSI IS ASSUMED IN THE CALCULATIONS ABOVE. ENGINEER SHALL VERIFY.
 - COVER GLANDS AND BOLTS WITH POLYETHYLENE BEFORE PLACING CONCRETE.
 - ALLOW CONCRETE TO SET UP A MINIMUM OF 6 HOURS BEFORE PLACING BACKFILL.
 - CONCRETE SHALL BE 3000 PSI, CLASS A.
 - ALL IRON FITTINGS SHALL BE BLOCKED AND SUPPORTED AS SHOWN ABOVE.

CONCRETE BLOCKING-VERTICAL BENDS-DOWNWARD THRUST

CITY OF CANTON, GEORGIA

CONCRETE BLOCKING DETAIL
CONSTRUCTION STANDARD

DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W716



PROFILE VIEW

PIPE DIA.	L	B
6"	4"	1"
8"	4"	1"
10"	4"	1"
12"	4"	1"
16"	4"	2"

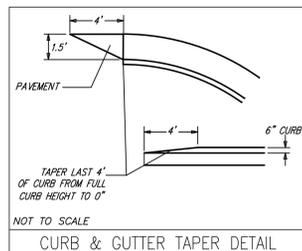
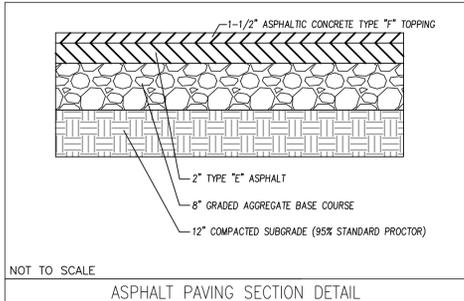
- NOTE:
- CONCRETE COLLAR WIDTH EQUALS THE WIDTH OF THE TRENCH PLUS FOUR FEET (TWO FEET ON EACH SIDE OF THE TRENCH).

CONCRETE THRUST COLLAR

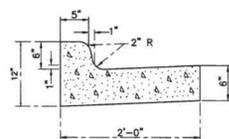
CITY OF CANTON, GEORGIA

CONCRETE THRUST COLLAR
CONSTRUCTION STANDARD

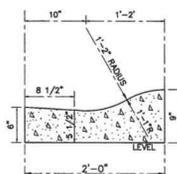
DATE: SEPT. '13
APPROVED: [Signature]
STANDARD NO. W717



CURB AND GUTTER CROSS SECTIONS



TYPICAL CURB & GUTTER DETAIL

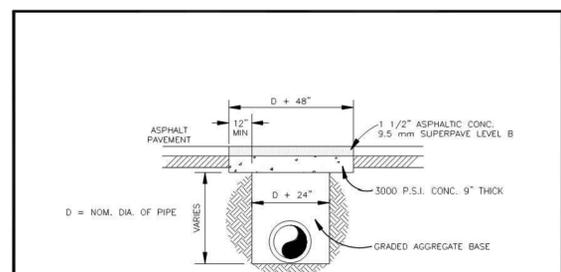


ROLLOVER CURB DETAIL

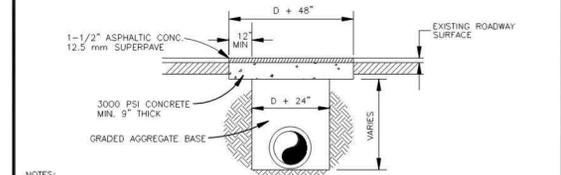
MINIMUM STRENGTH OF CONCRETE AT 28 DAYS

RESIDENTIAL	3,000 P.S.I.
NON-RESIDENTIAL	3,000 P.S.I.

STANDARD DETAIL 207



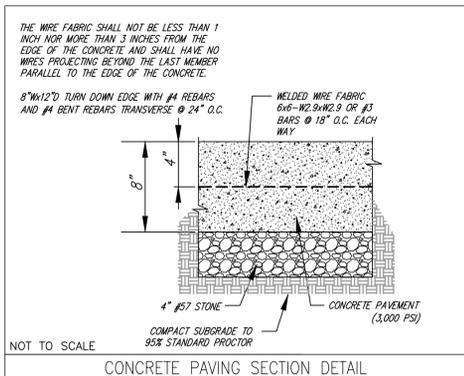
STATE OR STATE-AID ROADS



CITY ROADS

- NOTES:
- PERMISSION MUST BE OBTAINED FROM THE CITY OF CANTON TO OPEN CUT EXISTING ROADS.
 - ROADWAYS WILL GENERALLY BE BORED OR TUNNELED FROM DITCH LINE TO DITCH LINE.
 - IF CONCRETE PAVEMENT, REPLACE WITH ORIGINAL THICKNESS (MINIMUM 8'), FLUSH WITH EXISTING PAVEMENT.
 - COMPACTION REQUIREMENTS: 95% STD. PROCTOR FROM PIPE BEDDING TO 1' BELOW GRADE, 100% STD. PROCTOR FOR TOP 1" OF TRENCH.

CITY OF CANTON, GEORGIA	TYPICAL STREET CUT REPAIR	DATE: SEPT. '13	STANDARD NO. S724
	CONSTRUCTION STANDARD	APPROVED:	



CONCRETE PAVING SECTION DETAIL

TYPICAL LOCATIONS FOR CURB CUT RAMPS - PLAN VIEW

CONCRETE SIDEWALK DETAILS

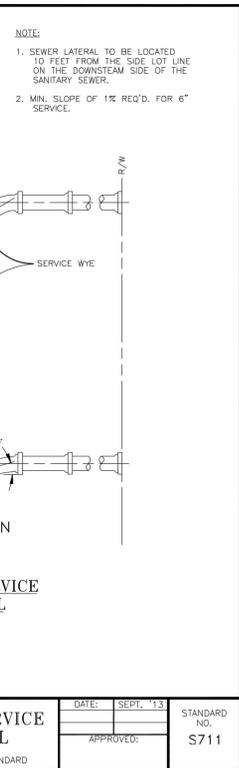
GUTTER TRANSITION DETAIL

Notes for curb cut ramps and concrete sidewalk details.

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA

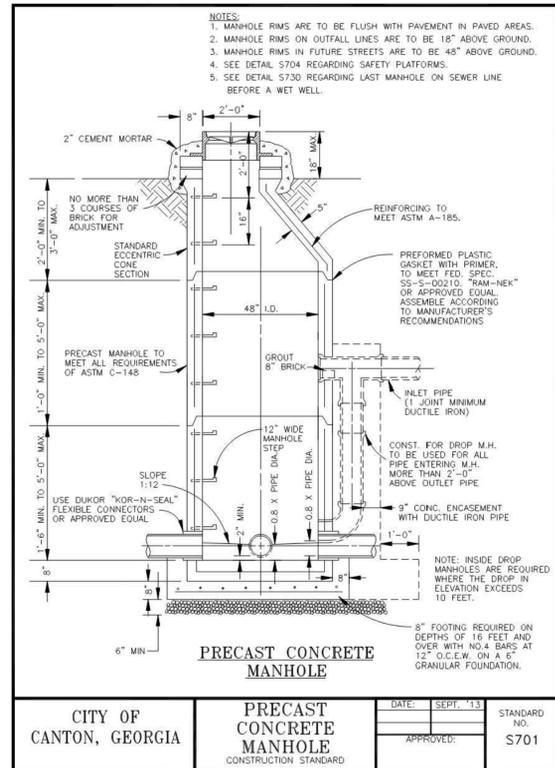
SPECIAL DETAIL CONCRETE SIDEWALK DETAILS CURB CUT (WHEELCHAIR) RAMPS

STANDARD DETAIL 207



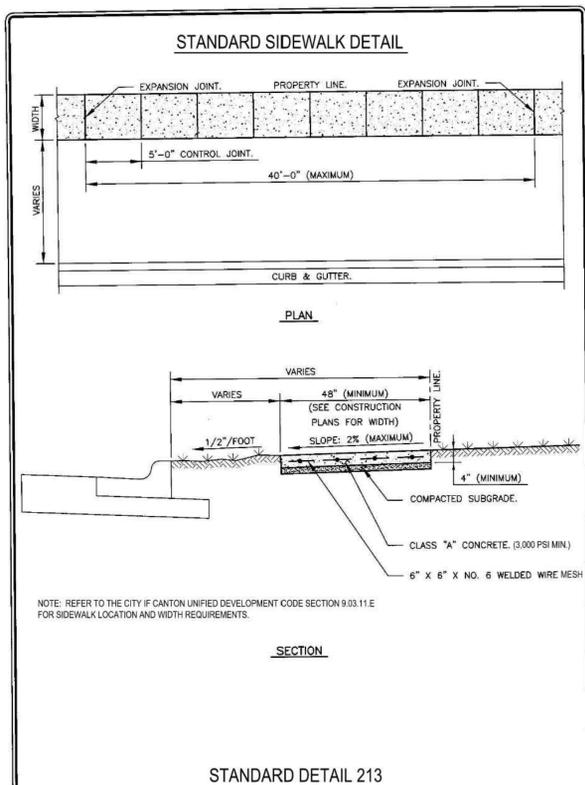
SEWER SERVICE LATERAL

CITY OF CANTON, GEORGIA	SEWER SERVICE LATERAL	DATE: SEPT. '13	STANDARD NO. S711
	CONSTRUCTION STANDARD	APPROVED:	



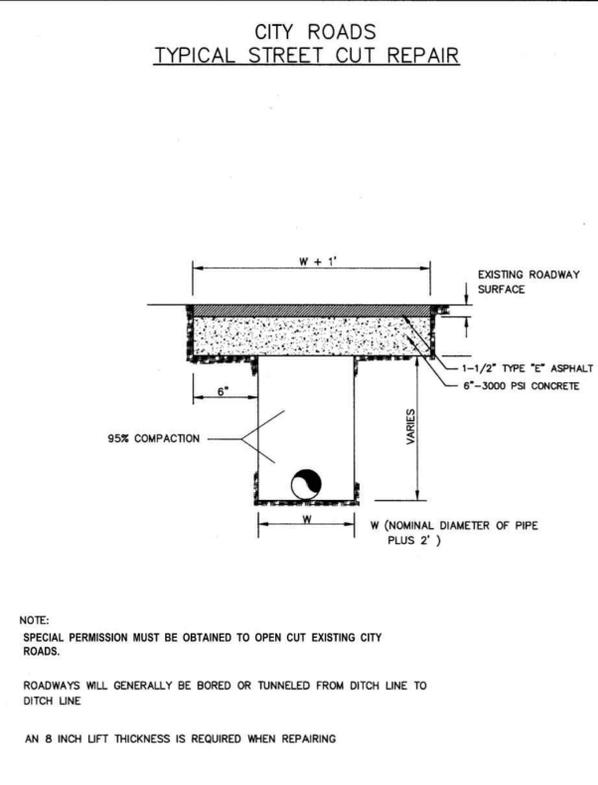
PRECAST CONCRETE MANHOLE

CITY OF CANTON, GEORGIA	PRECAST CONCRETE MANHOLE	DATE: SEPT. '13	STANDARD NO. S701
	CONSTRUCTION STANDARD	APPROVED:	



STANDARD SIDEWALK DETAIL

STANDARD DETAIL 213



CITY ROADS TYPICAL STREET CUT REPAIR

STANDARD DETAIL 211

- NOTE: SPECIAL PERMISSION MUST BE OBTAINED TO OPEN CUT EXISTING CITY ROADS.
- ROADWAYS WILL GENERALLY BE BORED OR TUNNELED FROM DITCH LINE TO DITCH LINE.
- AN 8 INCH LIFT THICKNESS IS REQUIRED WHEN REPAIRING



05/29/2025

REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND GSNCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/29/2025	REMOVED PER CITY OF CANTON

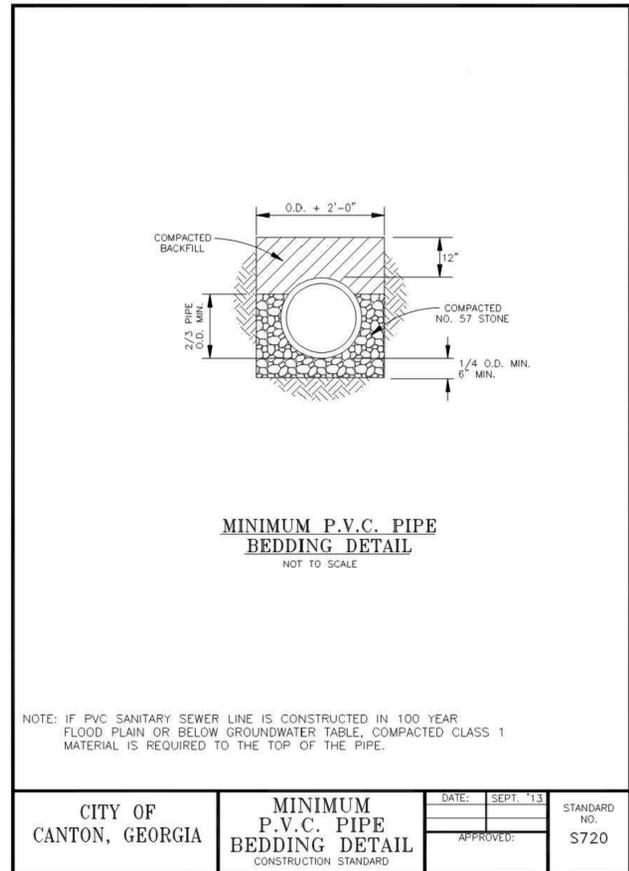
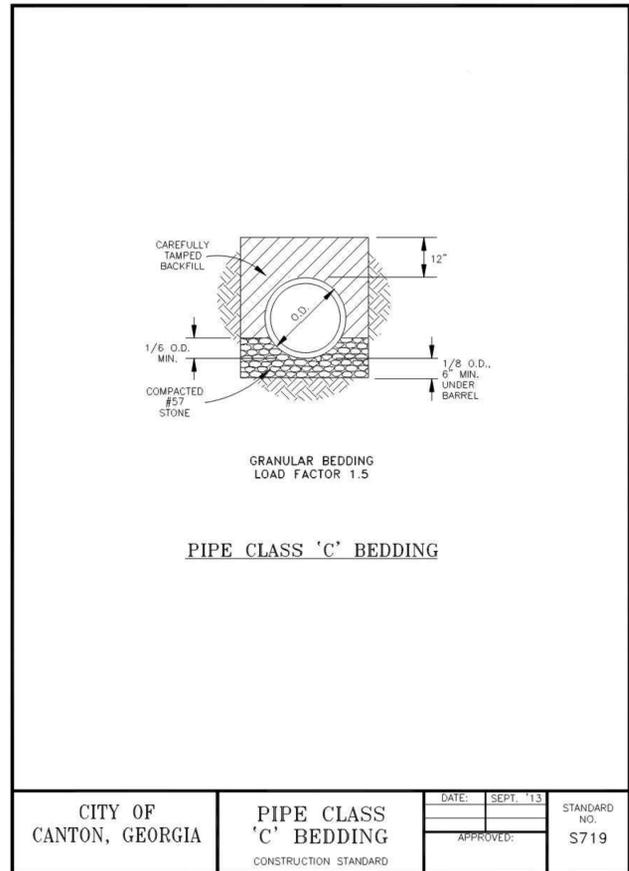
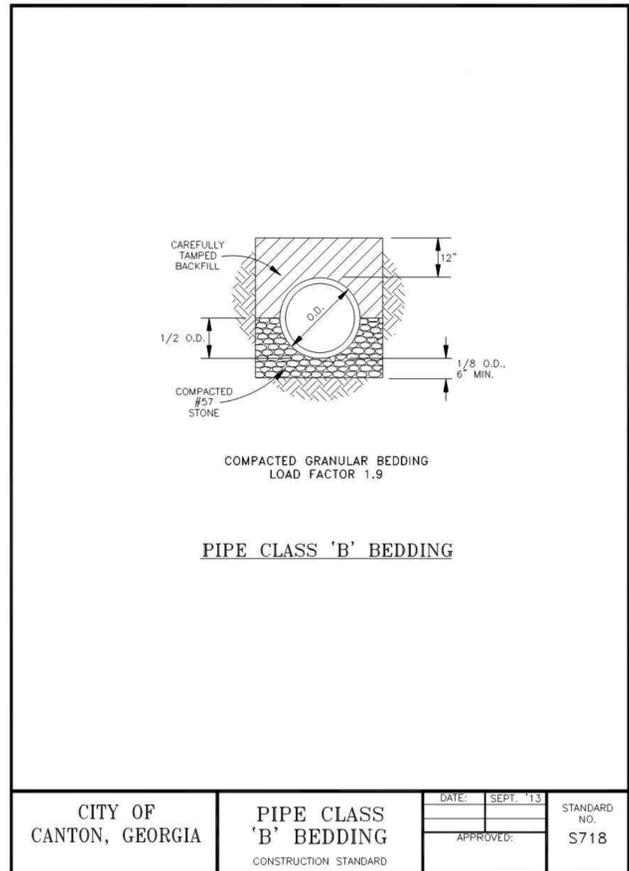
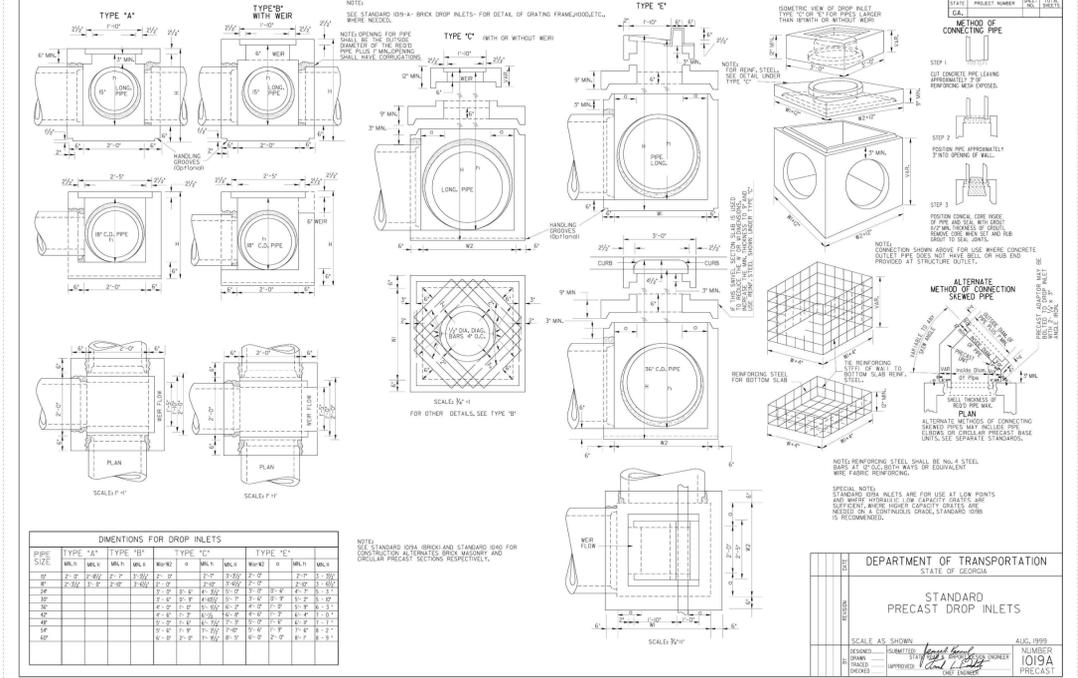
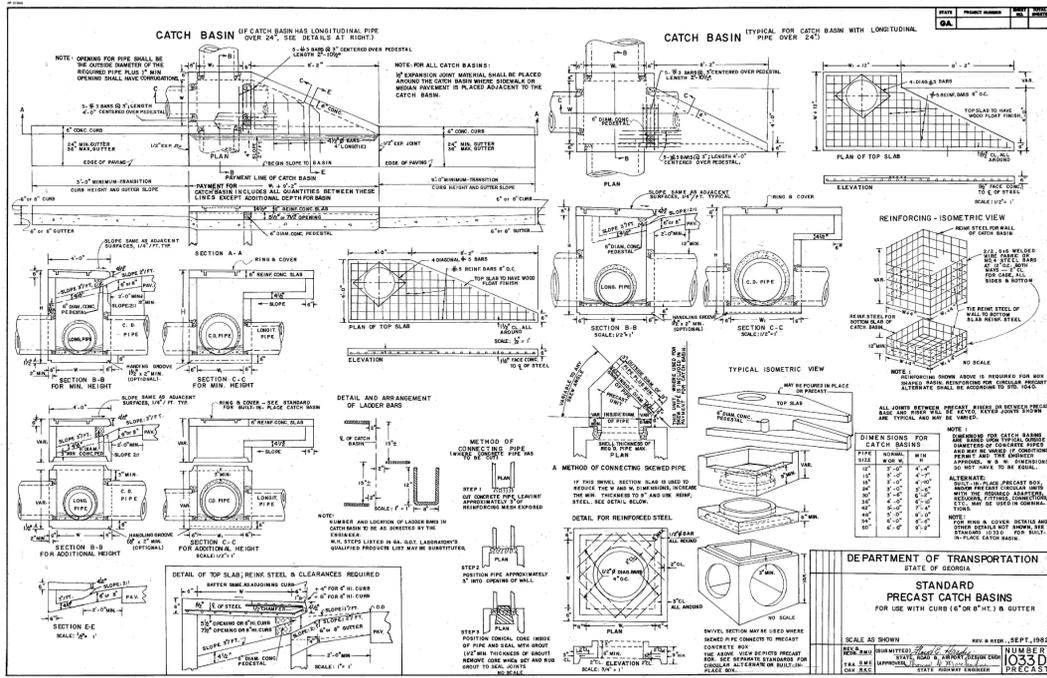
CONSTRUCTION DETAILS
GAMESA PROPERTIES LLC-MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY:	KDD
CHECKED BY:	OH
LAND LOT:	166
DISTRICT:	14th
SECTION:	2nd
CITY:	CANTON
COUNTY:	CHEROKEE
DATE:	05/02/2025

SHEET NO.
20 OF 21

PROJECT NO.
21-219

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REVISION	DATE	DESCRIPTION
1	07/24/2024	INITIAL SUBMITTAL
2	11/01/2024	REMOVED PER CITY OF CANTON AND GSNCC
3	05/02/2025	REMOVED PER CITY OF CANTON
4	05/21/2025	REMOVED PER CITY OF CANTON
	05/29/2025	REMOVED PER CITY OF CANTON

CONSTRUCTION DETAILS
GAMESA PROPERTIES LLC - MARIETTA STREET
LAND LOT 166
14th DISTRICT, 2nd SECTION
CITY OF CANTON
CHEROKEE COUNTY, GEORGIA

DRAWN BY: KDD
CHECKED BY: OH
LAND LOT: 166
DISTRICT: 14th
SECTION: 2nd
CITY: CANTON
COUNTY: CHEROKEE
DATE: 05/02/2025

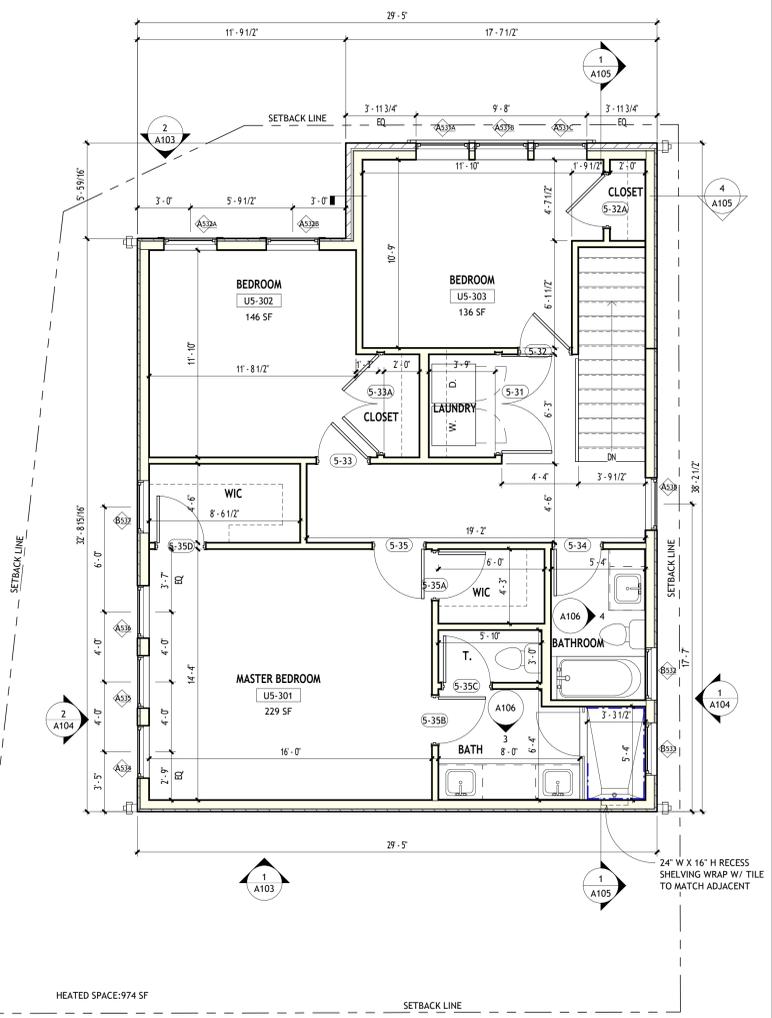
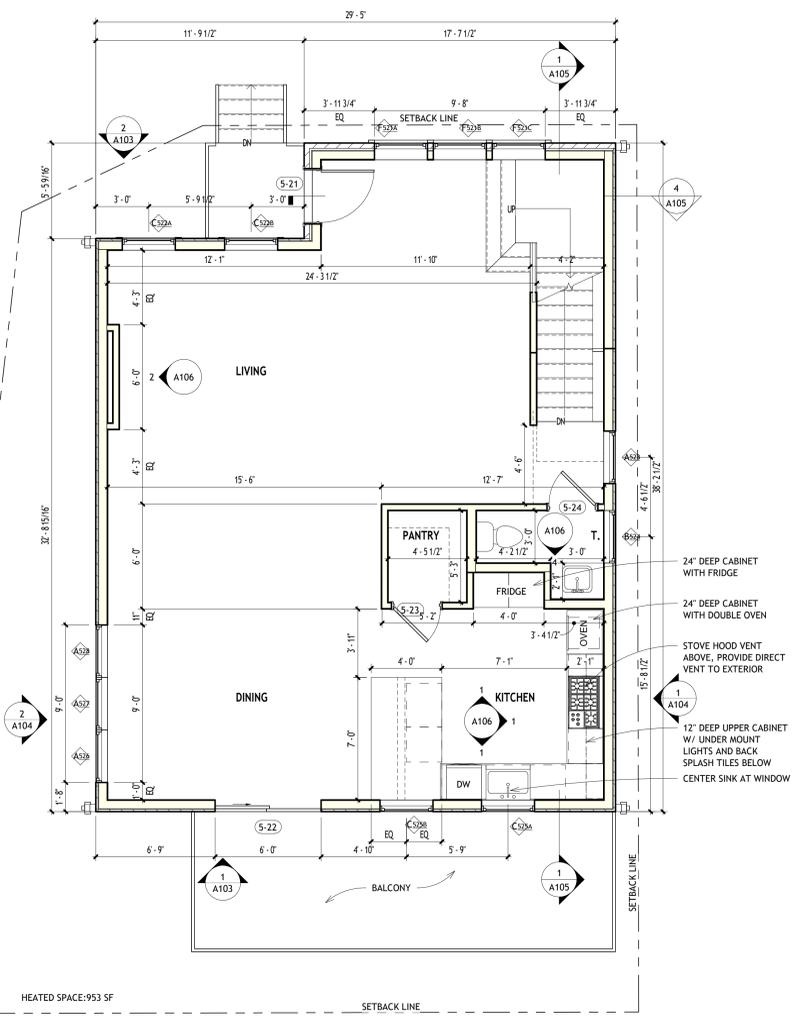
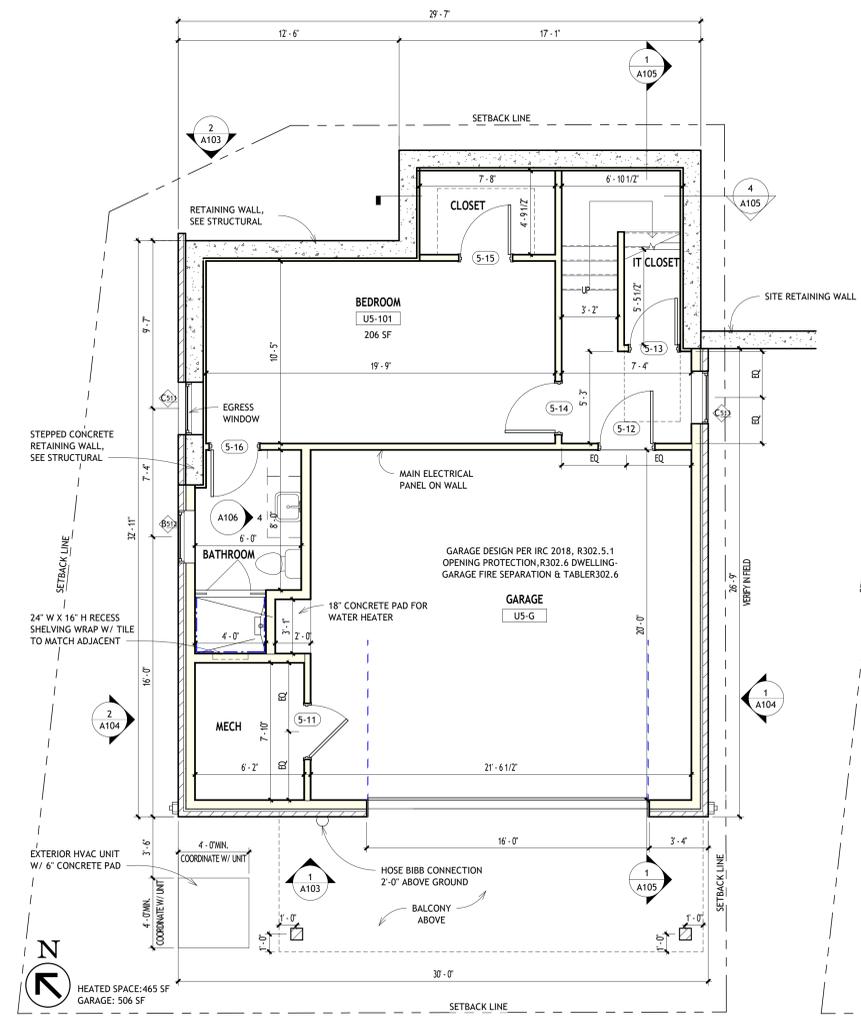
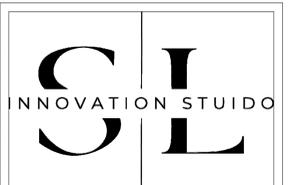
GRAPHIC LEGEND:	
	60"x30" STANDARD TUB. PROVIDE SHOWER/TUB COMBO AT BATHROOM W/O SEPARATE SHOWER ROOM
	36" GAS STAINLESS STEEL 5-BURNER COOK TOP
	36" GAS BURNER AND OVEN COMBO
	30" ELEC. COOK TOP
	DOUBLE OVEN
	UNDERMOUNT DOUBLE BOWL KITCHEN SINK FAUCET WITH SPRAYER AND GARBAGE DISPOSAL
	UNDERMOUNT SINGLE BOWL KITCHEN SINK FAUCET WITH SPRAYER AND GARBAGE DISPOSAL
	DISHWASHER BELOW COUNTERTOP
	REFRIGERATOR
	SHOWER WITH SHOWER HEAD AND CONTROL
	UNDERMOUNT VANITY SINK W/ COUNTER WIDTH 48" H MIRROR AND VANITY LIGHT(S)
	TOILET
	WASHER AND DRYER
	CERAMIC TILES FULL HEIGHT ON WALL, U.N.O.
	67-GAL WATER HEATER

PARTITION LEGEND:	
	P-1, NEW FRAMED WALL: 2x4 WOOD STUD @ 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES ALL WALLS ARE P-1 UNLESS OTHERWISE NOTED.
	P-2 NEW FRAMED WALL: 2x6 WOOD STUD @ 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES TYPICAL IN WALLS WITH PLUMBING
	P-0 NEW FRAMED WALL: 2x2 WOOD STUD @ 16" O.C. W/ 1/2" GYPSUM BOARD ON ONE SIDE TYPICAL APPLY ON INTERIOR SIDE OF CONCRETE WALL.
	P-3 NEW FRAMED WALL: UL U305 ASSEMBLY, 1-HOUR FIRE RATING 2x4 WOOD STUD @ 16" O.C. W/ (1) LAYER OF TYPE X 5/8" GYPSUM BOARD ON BOTH SIDE, 3-1/2" FIBER GLASS IN WALL CAVITY PENETRATION IN 1HR WALL PER IRC 302
	P-4 NEW FRAMED WALL: PER UL U305 ASSEMBLY, 1-HOUR FIRE RATING (2) LAYER OF 2x4 WOOD STUD @ 16" O.C. W/ 1 3/4" AIR SPACE, (1) LAYER OF TYPE X 5/8" GYPSUM BOARD ON BOTH SIDE, 3-1/2" FIBER GLASS IN WALL CAVITY PENETRATION IN 1HR WALL PER IRC 302

NOTES:
1. ALL GYPSUM BOARD AT BATHROOM AREAS AND KITCHEN SINK AREA TO BE WATER RESISTANT. PROVIDE CEMENT BOARD AT TILE LOCATIONS.
2. PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, WALL CABINETS, AND SHELVING
3. PROVIDE 3" SOUND BATT @ BEDROOMS, BATHROOMS AND MECHANICAL ROOM WALLS, TYP.
4. OPTIONAL SOUND BATTS IN FLOOR; COORD W/ GC
5. PROVIDE WOOD BASE ON ALL WALLS.
6. PROVIDE 1 X 6 WOOD CAP ON TOP OF LOW WALL; PAINT, TYP.

DOOR SCHEDULE - UNIT 5				
Mark	Door Size			Comments
	Width	Height	Thickness	
5-11	3'-0"	8'-0"	0'-1 3/4"	
5-12	3'-0"	8'-0"	0'-1 3/4"	
5-13	2'-8"	7'-0"	0'-1 3/4"	
5-14	2'-10"	8'-0"	0'-1 3/4"	
5-15	2'-10"	8'-0"	0'-1 3/4"	
5-16	2'-8"	8'-0"	0'-1 3/4"	
5-21	3'-0"	8'-0"	0'-1 3/8"	
5-22	6'-0"	8'-0"	0'-2"	
5-23	2'-8"	8'-0"	0'-1 3/4"	
5-24	2'-8"	8'-0"	0'-1 3/4"	
5-31	5'-8"	8'-0"	0'-1 3/4"	
5-32	2'-10"	8'-0"	0'-1 3/4"	
5-32A	3'-0"	8'-0"	0'-1 3/4"	
5-33	2'-10"	8'-0"	0'-1 3/4"	
5-33A	5'-8"	8'-0"	0'-1 3/4"	
5-34	2'-8"	8'-0"	0'-1 3/4"	
5-35	2'-10"	8'-0"	0'-1 3/4"	
5-35A	2'-8"	8'-0"	0'-1 3/4"	
5-35B	2'-8"	8'-0"	0'-1 3/4"	
5-36	2'-8"	8'-0"	0'-1 3/4"	
5-35D	2'-8"	8'-0"	0'-1 3/4"	

IRC 2018 TABLE R302.1(1) EXTERIOR WALLS			
EXTERIOR WALL ELEMENT		MIN. FIRE RESISTANCE RATING	MIN. FIRE SEPARATION DISTANCE
WALLS	FIRE-RESISTANCE RATED	1 HOUR	0 FEET
	NOT FIRE RESISTANCE RATED	0 HOURS	>/= 5 FEET
PROJECTIONS	NOT ALLOWED	NA	< 2 FEET
	FIRE-RESISTANCE RATED	1 HOUR	>/= 2 FEET TO < 5 FEET
	NOT FIRE RESISTANCE RATED	0 HOURS	>/= 5 FEET
OPENINGS IN WALLS	NOT ALLOWED	NA	< 3 FEET
	25% MAXIMUM OF WALL AREA UNLIMITED	0 HOURS	3 FEET
PENETRATIONS	ALL	COMPLY W/ R302.4	< 3 FEET
		NOT REQUIRED	3 FEET



238 W MARIETTA ST,
CANTON, GA 30114

CLIENT: GAMESA PROPERTIES LLC
ADDRESS: 5025 Deen Rd, Marietta, GA 30066

NO.	DESCRIPTION	DATE
1	CONSTRUCTION DOCUMENTS	2025-10-20

UNIT 5 - FLOOR PLANS

A101

Introducing an exclusive collection of eight thoughtfully designed residences nestled within the heart of Canton's Historic District. This boutique development gated blends timeless architectural character with modern comfort, honoring the rich heritage of the area while offering refined contemporary living, Designed with architectural cohesion and attention to detail.

The exterior showcases smooth vertical panel siding, lap siding, complemented by a brick water table or brick walls for added texture and durability.

The houses will be in the white palate with bold black and gray accents define the architectural character, including black-framed energy-efficient windows and a steel-framed glass front door. A contemporary flat metal awning and metal roof add both visual interest and functional weather protection.

A raised composite wood front porch covered provides durability and low maintenance while enhancing the clean, modern aesthetic.

301 W Marietta St, Canton, Ga. 30114

