



Community Development Department

110 Academy Street, Canton, Georgia 30114

770-704-1500

VAR2407-006

Public Hearing Application

Project # B06Q2A

- 1. Please check all information supplied on the following pages to ensure that all spaces are filled out completely and accurately before signing this form. State N/A, where Not Applicable
2. Please make your check payable to "City of Canton."
3. If you have questions regarding this form please contact the Department of Planning and Zoning by calling (770) 704-1530.

This form is to be executed under oath. I, Zach Steele, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in the Application for Public Hearing is true and correct and contains no misleading information. I, Zach Steele, have received and thoroughly read the Public Hearing Procedures.

Applicant: This 27th day of August, 2024. Print Name: Zach Steele

Applicant Information:

Name: Hilton Displays - Zach Steele
Address: 125 Hillside Drive
City: Greenville
State: SC Zip Code: 29607
Telephone: 864-894-0372
Fax Number:
Email Address: zachsteele@hiltondisplays.com

Owner Information:

Name: Latimer Properties, LLC
Address: 828 Beavers Road
City: Canton
State: GA Zip Code: 30115
Telephone: 770-479-1201
Fax Number:
Email Address: wes@latimerconstruction.com

This Application For (Check Only One):

- A Annexation
B Rezoning
C Master Plans
D Master Plan Revisions
E Conditional Use Permit
F Land Use Modification
G Zoning Condition Amendment
H Density Transfer within Master Plan
I Temporary Use Permit
J Zoning Ordinance Text Amendment
K Variance : Pre-Construction
K Variance : Post-Construction
Appeal
Adjustment
Special Exception

Fee Schedule: Application Type, Base Fee, Advertising Fee, Staff Use Only, Amount Due, Total Fee, Received By, Date, Amount Paid



Community Development Department
110 Academy Street, Canton, Georgia 30114
770-704-1500

Authorization Of Property Owner

This form is to be executed under oath. I, Wes Latimer, do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the owner of the property, which is the subject matter of the attached application, as is shown in the records of Cherokee County, Georgia. I hereby authorize the City of Canton and its representatives to inspect the property, which is the subject of this application, and post any notices required thereon.

This 27th day of August, 2024.

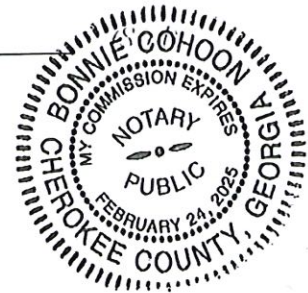
Owner Signature: Wes Latimer Print Name: Wes Latimer

I, the above signed legal owner of the subject property, do hereby authorize the following application to be submitted to the City of Canton:

- A Annexation
- B Rezoning
- C Master Plans
- D Master Plan Revisions
- E Conditional Use Permit
- F Land Use Modification
- G Zoning Condition Amendment
- H Density Transfer within Master Plan
- I Temporary Use Permit
- J Zoning Ordinance Text Amendment
- K Variance

Sworn To and Subscribed Before Me This 27th Day Of August, 2024.

Notary Signature: Bonnie Cohoon





Community Development Department
110 Academy Street, Canton, Georgia 30114
770-704-1500

Authorization Of Applicant

This form is to be executed under oath. I, Wes Latimer, do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the owner of the property, which is the subject matter of the attached application, as is shown in the records of Cherokee County, Georgia. I hereby authorize the City of Canton and its representatives to inspect the property, which is the subject of this application, and post any notices required thereon.

This 27th day of August, 2024.

Owner Signature: [Signature] Print Name: Wes Latimer

I, the above signed legal owner of the subject property, do hereby authorize the person named below to act as applicant in the pursuit of a request for:

- A Annexation
B Rezoning
C Master Plans
D Master Plan Revisions
E Conditional Use Permit
F Land Use Modification
G Zoning Condition Amendment
H Density Transfer within Master Plan
I Temporary Use Permit
J Zoning Ordinance Text Amendment
K Variance

Name of Authorized Applicant: Hilton Displays - Zach Steele

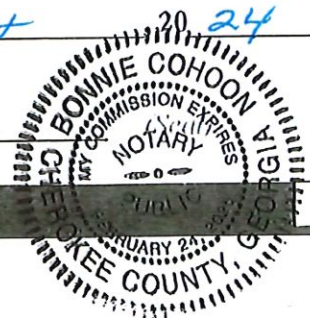
Signature: [Signature]

Mailing Address: 125 Hillside Drive
City: Greenville
State: SC Zip Code: 29607
Telephone: 864-894-0372
Fax Number:
E-mail: zachsteele@hiltondisplays.com

Applicant Status:
Owner
Option to Purchase
Leasee
Area Resident
Other (Explain): Agent for Starbucks

This Authorization of Applicant Form has been completed and the property owner's signature is Sworn To and Subscribed Before Me This 27th Day of August 20 24.

Notary Signature: [Signature]





Community Development Department
 110 Academy Street, Canton, Georgia 30114
 770-704-1500

Disclosure Form

O.C.G.A. § 36-67A-2 / O.C.G.A. § 36-67A-3 requires disclosure of campaign contributions to government officials by an applicant or opponent of a public hearing petition. Applicants must file this form with the Department of Community Development.

1. Name of Applicant/Opponent: Hilton Displays - Zach Steele Please Type Or Print All Responses

Section 1

If the answer to any of the following questions is "Yes," complete Section 2.

- A) Are you, or anyone else with a property interest in the subject property, a member of the City of Canton Planning Commission or the City of Canton Mayor and Council?
 YES NO
- B) Does an official of such public bodies have any financial interest in any business entity which has a property interest in the subject property?
 YES NO
- C) Does a member of the family of such officials have an interest in the subject property as described in (A) and (B)?
 YES NO
- D) Within Two (2) years of immediately preceding this application have you made campaign contributions(s) or given gifts to such public officials aggregating \$250 or more?
 YES NO

Section 2

1. Name and the official position of the Canton Official to whom the campaign contribution was made *(Please use a separate form for each official to whom a contribution has been made in the past (2) years):*

NA

2. List the dollar amount/value and description of each campaign contribution made over the past two (2) years by the Applicant/Opponent to the named Canton Official:

	Description
\$	NA
\$	
\$	

Note: Complete a separate form for each authorized applicant.



Community Development Department
 110 Academy Street, Canton, Georgia 30114
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Property Information:

Address: 1478 Riverstone Parkway, Canton, GA 30114
 Land Lot(s): _____ District: GC Section: _____ Map #: _____ Parcel #: 14N22A057A
 Existing Zoning Of Property: GC City County Total Acreage Of Property: 2
 Proposed Zoning Of Property: GC Existing Use(s) Of Property: Restaurant

Directions to property from Main Street in downtown Canton:
Take Waleska St to Riverstone Pkwy, Turn right on to Riverstone Pkwy, Drive about two miles, Site is located on Ball Ground Hwy at intersection of Riverstone Pkwy and Milton Drive.

Adjacent Property/Owner Information: Please provide the following information for all adjacent properties, including property connected by public rights-of-way. Attach additional sheets as necessary.

	<u>OWNER NAME/ADDRESS</u>	<u>CURRENT ZONING</u>	<u>CURRENT LAND USE</u>
NORTH	RaceTrac - 1465 Riverstone Pkwy, Canton, GA 30114 Mesquite Creek Development C/O Cushman & Wakefield	GC	GAS STATION
SOUTH	NA		
EAST	QuikTrip - 1490 Riverstone Pkwy, Canton, GA 30114 QuikTrip Corporation	GC	GAS STATION
WEST	Teko 5 Oil - 1476 Riverstone Pkwy, Canton, GA 30114 Latimer Properties, LLC	GC	AUTOBODY SHOP
OTHER			

UTILITY INFORMATION

How is sewage from this development to be managed? NA
 Proposed managing jurisdiction: NA
 How will water be provided to the site? NA
 Proposed managing jurisdiction: NA Size Limit: _____



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Canton Board of Appeals Review Criteria

Article H, Section 8-8-H-195 empowers the Board of Appeals to authorize variances from provisions of the Zoning Code pursuant to a finding based in the criteria listed below. Please respond to the following.

(Applications Type K : ONLY)

Are there any extraordinary and exceptional conditions pertaining to the subject property because of its size, shape or topography? NO

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? NO

Has the condition from which relief or variance is sought been a result from action by the applicant? YES

Are there conditions peculiar to the subject property? NO

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Specifically, would the variance impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or imperil the public safety or unreasonably diminish or impair established property values within the surrounding areas, or in any other respect impair the health, safety, comfort, morals or general welfare or the inhabitants or the City? _____

No, adding an extra wall sign will not cause any detriment to the public good.

Provide a Letter of Intent, which provides the necessary information to support your application for Variance.

William E. Whitaker
Attorney At Law
P.O. Box 371
Canton, GA 30169

Deed Book **9997** Pg **426**
Filed and Recorded 12/19/2007 03:10 PM
28-2007-059602

Patty Baker
Clerk of Superior Court Cherokee Cty, GA

WARRANTY DEED

STATE OF GEORGIA

COUNTY OF CHEROKEE

THIS INDENTURE, made this 18th day of December, 2007 between **CTL Properties, INC.** of the State of Georgia of the first part, and **Latimer Properties, LLC** of the State of Georgia of the second part,

WITNESSETH: That the said party of the first part, in consideration of Ten Dollars, and other valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell and convey unto the said party of the second part, its successors and assigns:

All that tract or parcel of land lying and being in Land Lots 204 and 205 of the 14th District, 2nd Section of Cherokee County, Georgia, being more particularly described in Exhibit "A" attached hereto and incorporated herein by reference for a more complete description of the property.

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of **Latimer Properties, LLC**, its successors and assigns forever in **FEE SIMPLE** and the said party of the first part, its successors and assigns, will warrant and forever defend the right and title to the above described property unto the said party of the second part, its successors and assigns, against the claims of all persons whomsoever.

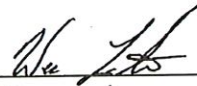
IN WITNESS WHEREOF, the said party of the first part has hereunto set its hand and seal the day and year above written.

Signed, sealed and delivered in the presence of


CTL Properties, INC.



Witness

By: 

Wes Latimer - CFO



Notary



Toby Latimer CEO



EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lots 204 and 205 of the 14th District, 2nd Section, Cherokee County, Georgia and being more particularly described as follows:

TO ASCERTAIN the true point of beginning, begin at a point at the intersection of the centerline of Highway 5 and the centerline of Milton Drive, thence southwest along the centerline of Highway 5 a distance of 62.4 feet; thence southeasterly 40 feet from the centerline of Highway 5 to a concrete nail set; thence North 60 degrees 00 minutes, 15 seconds East a distance of 15 feet to a concrete nail set, which is the true point of beginning.

From the true point of beginning, thence South 29 degrees 57 minutes 00 seconds East a distance of 230 feet to a point; thence South 60 degrees 03 minutes 00 seconds West a distance of 15 feet to a point; thence South 29 degrees 57 minutes 00 seconds East a distance of 145.30 feet to an iron pin; thence South 60 degrees 03 minutes 00 seconds West a distance of 200 feet to an iron pin; thence North 29 degrees 57 minutes 00 seconds West a distance of 375.15 feet to an iron pin; thence North 60 degrees 00 minutes 15 seconds East a distance of 215 feet to a concrete nail, and the true point of beginning.

Said property as depicted on a plat of survey prepared for Bradford Bell by Adams-Sims & Associates, Inc., dated 10-24-94, and recorded in Plat Book 48, page 148, Cherokee County Records.

COPY

PT-61 (Rev. 11/04)

To be filed in **CHEROKEE COUNTY**

PT-61 028-2007-013612

SECTION A - SELLER'S INFORMATION (Do not use agent's information)				SECTION C - TAX COMPUTATION	
SELLER'S BUSINESS / ORGANIZATION / OTHER NAME CTL Properties, Inc.				Exempt Code If no exempt code enter NONE	NONE
MAILING ADDRESS (STREET & NUMBER) P.O. Box 4038				1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown	\$241,826.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Canton, GA 30114 USA		DATE OF SALE 12/18/2007		1A. Estimated fair market value of Real and Personal property	\$0.00
SECTION B - BUYER'S INFORMATION (Do not use agent's information)				2. Fair market value of Personal Property only	\$0.00
BUYER'S BUSINESS / ORGANIZATION / OTHER NAME Latimer Properties, LLC				3. Amount of liens and encumbrances not removed by transfer	\$241,826.00
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) P.O. Box 4038				4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3)	\$0.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Canton, GA 30114 USA		Check Buyers Intended Use () Residential () Commercial () Agricultural () Industrial		5. TAX DUE at .10 per \$100 or fraction thereof (Minimum \$1.00)	\$0.00
SECTION D - PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 288A)		PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION			SUITE NUMBER
COUNTY CHEROKEE		CITY (IF APPLICABLE)		MAP & PARCEL NUMBER 14N12A-057A	ACCOUNT NUMBER
TAX DISTRICT	GMD	LAND DISTRICT	ACRES	LAND LOT	SUB LOT & BLOCK
SECTION E - RECORDING INFORMATION (Official Use Only)					
DATE	DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE	

ADDITIONAL BUYERS
None

COPY

Printed: 09/03/2024 08:41:34 AM



Official Tax Receipt
Cherokee County, GA
2780 Marietta Hwy
Canton, 30114
--Online Receipt--

Phone: 678-493-6400

Trans No	Map Code	Property ID & District Description	Original Due	Interest & Penalty	Amount Due	Amount Paid	Transaction Balance
2023-72114	14N22A 057 A	LL 205, 228 DIST. 14 PB 48 PG 148	\$8,408.99	\$73.58 Fees: \$0.00	\$0.00	\$8,482.57	\$0.00
Totals:			\$8,408.99	\$73.58	\$0.00	\$8,482.57	\$0.00

Paid Date: 11/27/2023

Charge Amount: \$8,482.57

LATIMER PROPERTIES LLC
255 DEPOT ST
30107



Scan this code with your mobile phone to view this bill

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COPY

Letter of Intent:

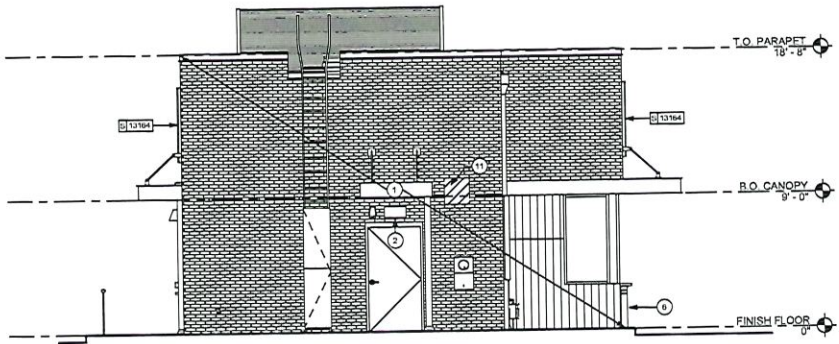
This development is located at 1478 Riverstone Pkwy, Canton, GA 30114. The property is owned by Latimer Properties, LLC. This site was once a used car and rental car lot. The addition of (1) wall sign will have no impact on the current traffic on Riverstone Pkwy. This sign is wanted to help prevent any confusion on where the store is located and potentially prevent any traffic issues. There will be no impact on the current existing roadway network because the new 'Starbucks' is already built. This variance is strictly to have (1) additional wall sign installed.

Starbucks anticipates having this additional wall sign will give the property more visibility for customers to find the store. This will potentially decrease any chance of customers causing traffic issues when finding the store entrance. The current proposed land use is a restaurant. The total acreage for this property is 1.8.

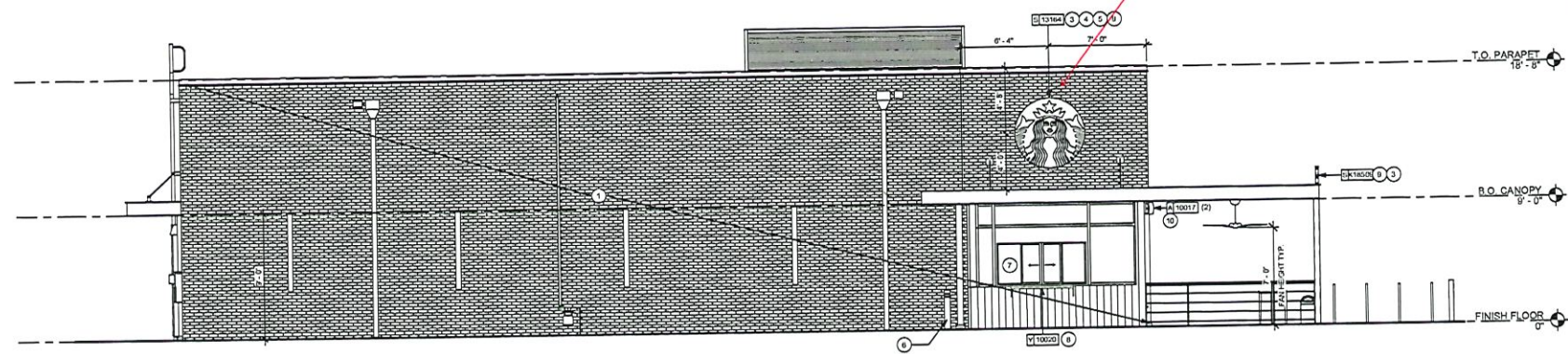
The maximum building height is 18'-8" and this store is only (1) story. The Starbucks building is roughly 2,022 sq ft. There are not any landscaping regulations because this sign is installed on the side of the building. Additional sign wanted, is 5' in diameter and is a standard flex face cabinet with bleed trim cover.

1/13/2023 4:05:49 PM Autodesk Docs/Starbucks 2022 (Rev. 2023) 98411-002_66922 Ball Ground & Riverstone Pkwy_CD_1.rvt

SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
13164	2	SGN - DISK OF ILLUMINATED FLUSH MOUNTED EVOLVED - 80N1525MM	SB	GC	
22544	1	SGN - DT GLASS/ALUM. GRAB BAR/JARE FRAME FINEST AVENUE - BLACK AND DARK GREEN	SB	GC	
23075	1	SGN - DIRECTIONAL LIGHT ONLY ILLUM DS - NEW FOUNDATION - 26N 915MM	SB	GC	FOUNDATION AND CONDUIT BY LL
23165	1	SGN - DT DIRECTIONAL LIGHT WITH ARROW ILLUM DS - NEW FOUNDATION - 44N 1120MM	SB	GC	FOUNDATION AND CONDUIT BY LL
23207	2	SGN - S MENU L PARKING	SB	GC	(POST) IF REQUIRED, PROVIDED BY OTHERS
24110	1	SGN - PYLON DISK DRIVE THRU ILLUMINATED ARROW SERIES - 72N 1800MM	LL	LL	BY LL SIGNAGE VENDOR
A1850	1	SGN - WORKMARK OF ARBUCKS ON LOW RACEWAY - 24N 610MM	SB	GC	WHITE LETTERS



2 EXTERIOR ELEVATION - SOUTHEAST
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTHEAST
Scale: 1/4" = 1'-0"



KEYED NOTES

- EXISTING TO REMAIN (ETR)
- EXTERIOR EGRESS LIGHTING BY LL
- PROVIDE JACK FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING IF (255MM) MIN. BEYOND EDGE OF SIGNAGE.
- NON-ILLUMINATED PROTECTIVE BOLLARD
- DT WINDOW. PROVIDE READY ACCESS DT SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT, BY LL
- DT WINDOW SHELF. INSTALL SERVICE WINDOW SHELF AT 36" (915MM) INSIDE, BY LL
- BUILDING SIGNAGE
- EXTERIOR SPEAKER. SEE REFLECTED CEILING PLAN AND BUILDING CANOPY DETAILS.
- FUTURE HOP EQUIPMENT (FOE)

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKERS AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT, IF APPLICABLE, WITH THIS PARTY OR IN PART. IF SHARED WITH OTHER PROJECTS OR COMPANIES, THE STARBUCKS STORE WHICH IS SUBJECT TO CHANGE AT ANYTIME AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT AS STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.
- GENERAL CONTRACTOR TO CLEAN PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



STARBUCKS®
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), EXCEPT WITH THE WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE WHICH IS SUBJECT TO CHANGE AT ANYTIME AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT AS STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION 1023.04.24



GPD PROJECT NO: 2022061.18



FOR CONSTRUCTION

PROJECT NAME:
BALL GROUND AND RIVERSTONE PKWY.

PROJECT ADDRESS:
**1478 RIVERSTONE PKWY
CANTON, GA 30114**

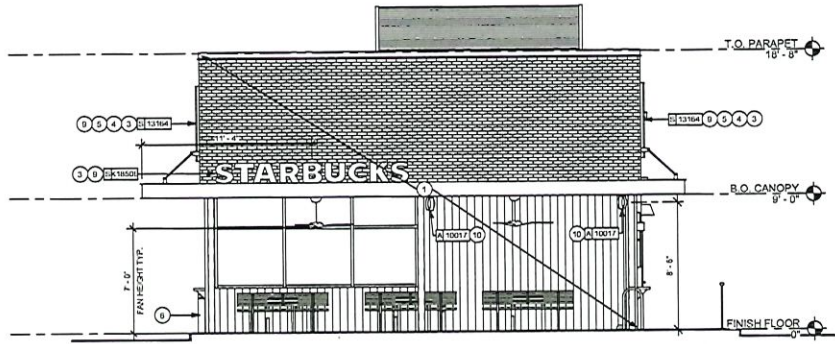
STORE #: 82922
PROJECT #: 98411-002
ISSUE DATE: 11/14/23 PERMIT SET
DESIGN MANAGER: ASHLEY SUEIRAS
PRODUCTION DESIGNER: JO GPD GROUP
CHECKED BY:

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING EXTERIOR ELEVATIONS
SCALE: AS SHOWN

SHEET NUMBER:
A201

SIGNAGE SCHEDULE - "S"					
DESCRIPTION	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - CRISK					
13164	2	BRN - SIGN OF ILLUMINATED FLIGHT MOUNTED EVOLVED - 40IN 1525MM	SB	GC	
SIGNAGE - DRIVE THRU					
22544	1	BRN - 12' CLEARANCE BARSQUARE FRAME, PRE-CAST AND, BLACK AND DARK GREEN	SB	GC	
23075	1	BRN - DIRECTIONAL LIGHT ONLY ILLUM DD - NEW FOUNDATION - 30IN 915MM	SB	GC	FOUNDATION AND CONDUIT BY LL
23105	1	BRN - DT DIRECTIONAL GREEN WITH ARROW ILLUM DS - NEW FOUNDATION - 46IN 1120MM	SB	GC	FOUNDATION AND CONDUIT BY LL
SIGNAGE - OTHER					
21297	2	BRN - 5 MINUTE PARKING	SB	GC	POST. IF REQUIRED, PROVIDED BY OTHERS
SIGNAGE - PYLON CRISK					
14110	1	BRN - PYLON SIGN DRIVE THRU ILLUMINATED ARROW SERIES - 72IN 1830MM	LL	LL	BY LL SIGNAGE VENDOR
SIGNAGE - WORKMARK					
A1850X	1	BRN - WORKMARK OF STARBUCKS ON LOW RACEWAY - 24IN 610MM	SB	GC	WRITE LETTERS



2 EXTERIOR ELEVATION - NORTHWEST
1/4" = 1'-0"

KEYED NOTES

- EXISTING TO REMAIN (ETR).
- PROVIDE 1/2" (75MM) HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING OR PER LOCAL JURISDICTIONAL CODE REQUIREMENTS.
- PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- NON-ILLUMINATED PROTECTIVE BOLLARD.
- DT WINDOW: PROVIDE READY ACCESS DT SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT, BY LL.
- DT WINDOW SHELF: INSTALL SERVICE WINDOW SHELF AT 36" (915MM) INSIDE, BY LL.
- BUILDING SIGNAGE.
- EXTERIOR SPEAKER: SEE REFLECTED CEILING PLAN AND BUILDING CANOPY DETAILS.
- EXTERIOR EGRESS LIGHTING BY LL.

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
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- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT. SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE WHICH IS SUBJECT TO CHANGE AT ANYTIME AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



STARBUCKS COFFEE COMPANY
STARBUCKS[®]
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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STARBUCKS TEMPLATE VERSION: 0223.04.24



FOR CONSTRUCTION

PROJECT NAME:
BALL GROUND AND RIVERSTONE PKWY.

PROJECT ADDRESS:
**1478 RIVERSTONE PKWY
 CANTON, GA 30114**

STORE #: 82922
 PROJECT #: 98411-002
 ISSUE DATE: 11/14/23 PERMIT SET
 DESIGN MANAGER: ASHLEY SUERAS
 PRODUCTION DESIGNER: JO
 CHECKED BY: GPD GROUP

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING EXTERIOR ELEVATIONS
 SCALE: AS SHOWN

SHEET NUMBER
A202

STARBUCKS #82922 BALL GROUND & RIVERSTONE PKWY
1478 RIVERSTONE PKWY
CANTON, GA 30114



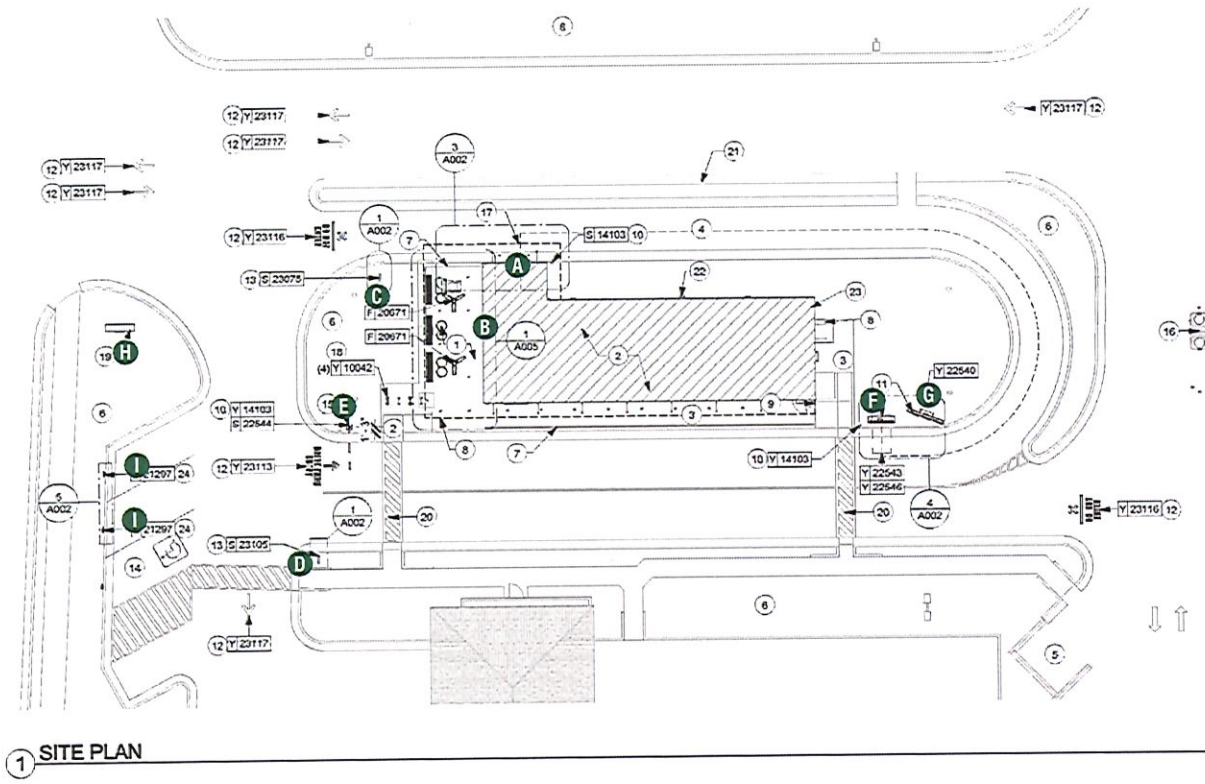
24-70724

~~HILTON~~DISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

SITE PLAN

A 60" SIREN



1 SITE PLAN



HILTON DISPLAYS
 125 HILLSIDE DRIVE • GREENVILLE SC 29607
 P 800 353 9132 • F 864 242 2204
 www.hiltondisplays.com

QID 24-70724

JOB NAME

Starbucks 82922

LOCATION

1478 RIVERSTONE PKWY
 CANTON, GA 30114

CUSTOMER CONTACT

SALESMAN / PM

Zach Steele

DESIGNER

Chad Wike

DWG. DATE

1-21-24

REV. DATE / REVISION

6-24-24
7-25-24
7-29-24
8-12-24
8-20-24

SCALE

As Noted

FILE

2024/Starbucks/Locations/
 Canton GA/24-70724/
 SB Canton GA 24-70724

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

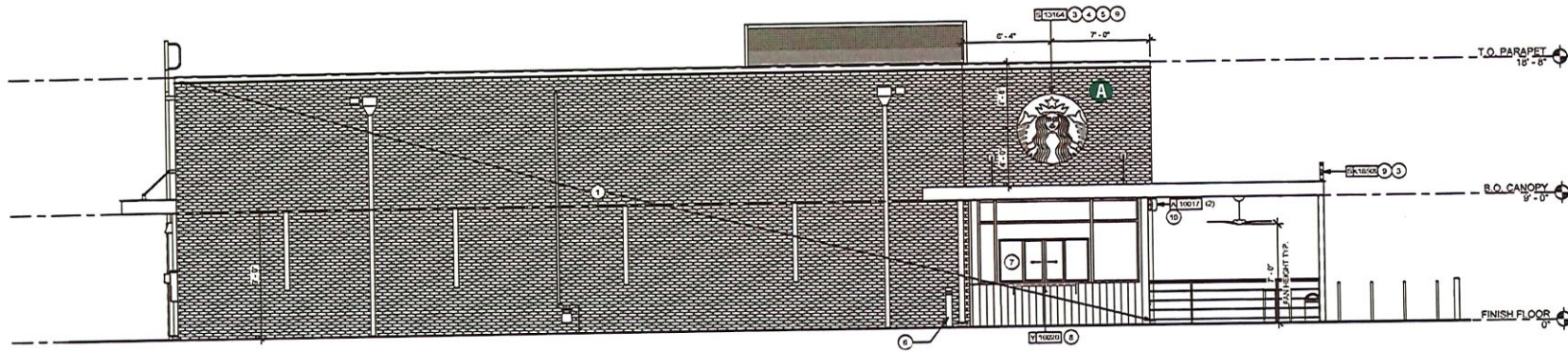
SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

Underwriters Laboratories Inc. DRY:
DAMP:
WET:

ELEVATION

- A** 60" SIREN
- B** 24" CHANNEL LETTERS
- C** 30" TY/EO DIRECTIONAL
- D** 30" DT DIRECTIONAL
- E** CLEARANCE BAR
- F** CANOPY w/ DOS
- G** MENU BOARD
- H** TENANT PANELS
- I** PARKING SIGNS-MOP
- J** PICK UP WINDOW SIGN



1 EXTERIOR ELEVATION - NORTHEAST
Scale: 1/8" = 1'

HILTON DISPLAYS
125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 24-70724

JOB NAME

Starbucks 82922

LOCATION

1478 RIVERSTONE PKWY
CANTON, GA 30114

CUSTOMER CONTACT

SALESMAN / PM

Zach Steele

DESIGNER

Chad Wike

DWG. DATE

1-21-24

REV. DATE / REVISION

6-24-24

7-25-24

7-29-24

8-12-24

8-20-24

SCALE

As Noted

FILE

2024/Starbucks/Locations/
Canton GA/24-70724/
SB Canton GA 24-70724

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

Underwriters Laboratories Inc.

DRY
DAMP
WET

S/F EXTERIOR TRIMLESS FLEX FACE SIREN WALL SIGN

Qty. 2

SBC-S13164-60-FF

A

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 125 HILLSIDE DRIVE • GREENVILLE SC 29607
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 www.hiltondisplays.com

QID 24-70724

JOB NAME

Starbucks 82922

LOCATION

1478 RIVERSTONE PKWY
 CANTON, GA 30114

CUSTOMER CONTACT

SALESMAN / PM

Zach Steele

DESIGNER

Chad Wilke

DWG. DATE

1-21-24

REV. DATE / REVISION

6-24-24
7-25-24
7-29-24
8-12-24
8-20-24

SCALE

As Noted

FILE

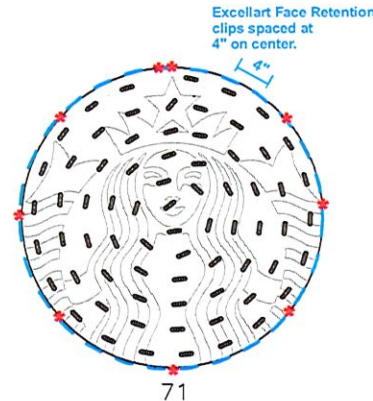
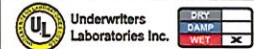
2024/Starbucks/Locations/
 Canton GA/24-70724/
 SB Canton GA 24-70724

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



* #6 PAN HEAD SCREWS

- 1) ACTUAL CHANNEL LETTER POPULATION AND PRODUCT PLACEMENT MAY VARY FROM THIS LAYOUT
- 2) PRISM ENLIGHTEN WHITE 6500K LAID OUT AT 1.5 MODULES PER FOOT, 5.0" ON CENTER
- 3) EACH 60W3 POWER SUPPLY CAN RUN UP TO 72 PRISM ENLIGHTEN WHITE 6500K MODULES
- 4) LAYOUT BASED ON A 2.5" CAN DEPTH
- 5) DIMENSIONS ARE IN INCHES UNLESS STATED OTHERWISE
- 6) 701269-6WEJ1-MB WATTS PER MODULE: .75
- 7) PRIMARY SYSTEM POWER: 66.56 WATTS
- 8) LED MODULE POWER USAGE (secondary): 53.25 WATTS

ESTIMATED PRODUCT B.O.M. PER SIGN:

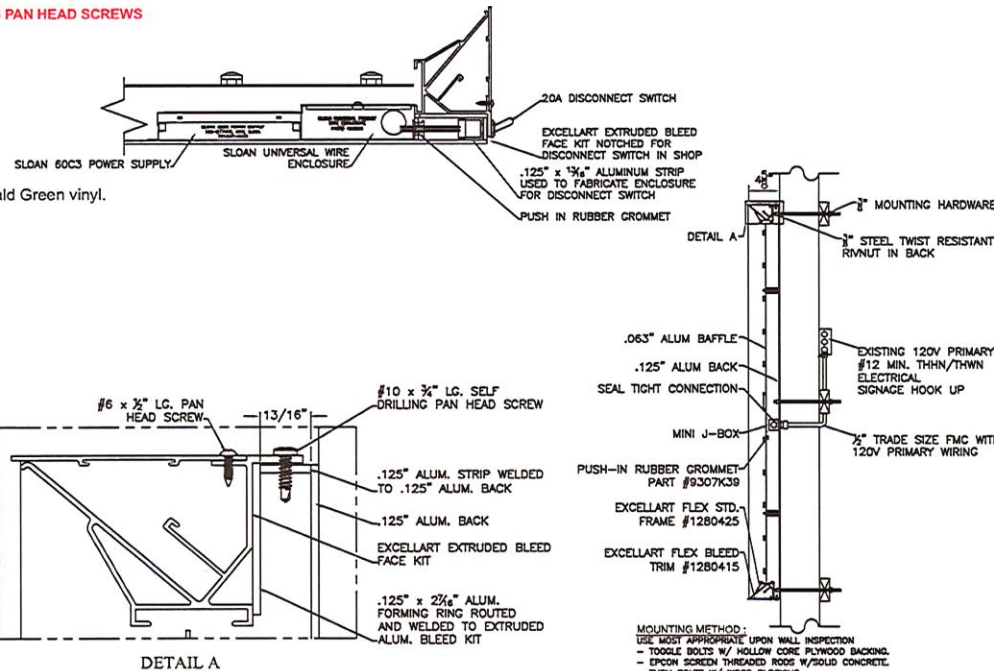
- 71 Each Prism Enlighten White 6500K Modules - 48'
- PN: 701269-6WEJ1-MB
- 1 Each 60C2 (Damp/Dry locations) or 60W3 (Wet location) 60W Power Supply 12VDC
- 1 Each 100' Roll of Jacketed Cable

1 FRONT VIEW

Scale: 1/2" = 1' (11x17 Paper)

Specifications:

- A Single face internally illuminated Excellart EC-Flex Standard flex face cabinet with bleed trim cover.
- B White 3M 19 oz Panagraphics III Flex Faces with 3M 3630-126 Dark Emerald Green vinyl. Face retention clips spaced every 4".
- C Interior of cabinet painted reflective white and exterior painted satin black.
- D Internally illuminated with 6500K Sloan Prism Enlighten LEDs with remote power supply.
- E 1/4" drain holes located at the bottom of cabinet as required by UL 48 for Electric Signs.
- F Drain holes to be covered with drain hole covers to reduce light leaks.



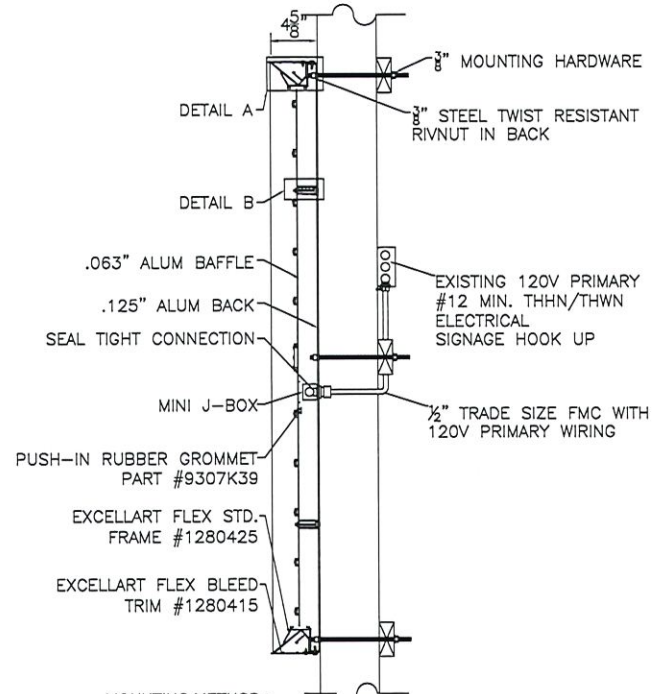
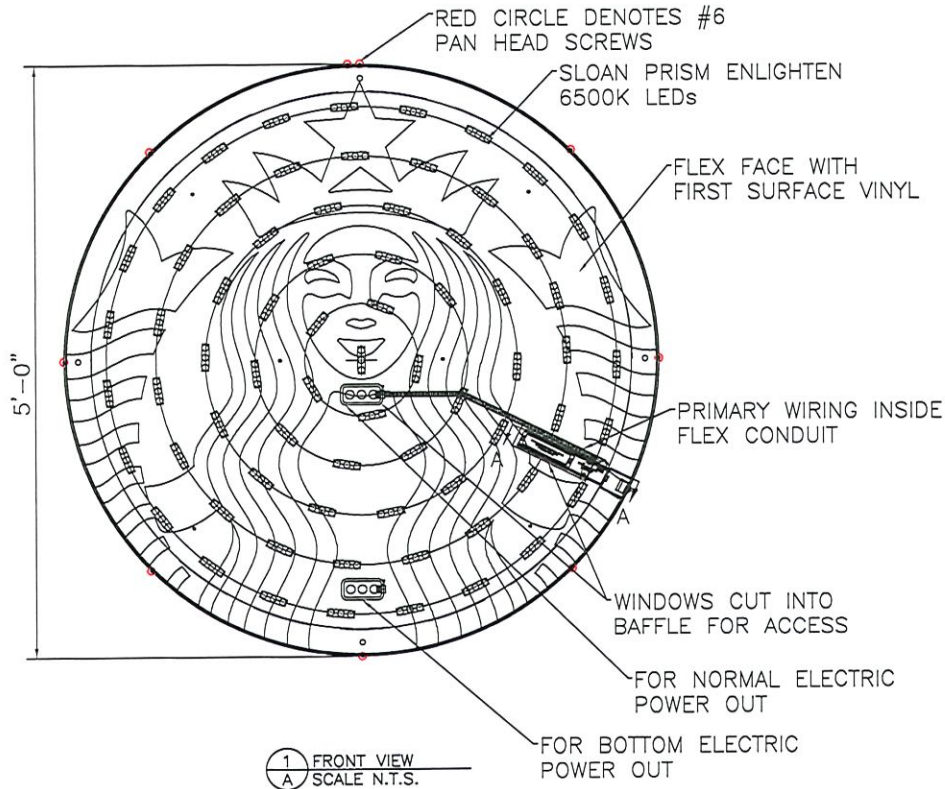
COLOR LEGEND	
PMS/PAINT	VINYL
PMS 3425 C	3M 3630-126
SATIN BLACK	NA
PMS WHITE	NA



DRY	
DAMP	
WET	x

120-277V

SEE PG.3 FOR WIRING SCHEMATIC



MOUNTING METHOD:
USE MOST APPROPRIATE UPON WALL INSPECTION
- TOGGLE BOLTS W/ HOLLOW CORE PLYWOOD BACKING.
- EPCON SCREEN THREADED RODS W/SOLID CONCRETE.
- THRU BOLTS W/ WOOD BLOCKING.

1 SECTION THRU (TYP.)
B SCALE N.T.S.

PLUG POWER OUT HOLE NOT USED IN BACK OF CABINET

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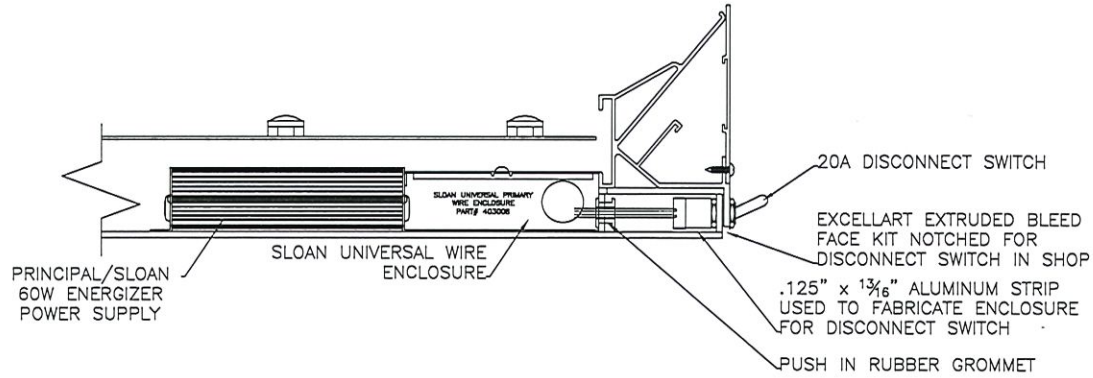
PROJECT NAME: STARBUCKS	CUSTOMER: STARBUCKS	REVISIONS:
LOCATION:		
DESCRIPTION: 60" EXTERIOR S/F ILLUMINATED SIREN FLEX FACE DRAWING	DATE: 11/5/09	
125 HILLSIDE DR. GREENVILLE, SC 29607 PH.# 864-233-0401 FAX# 864-242-2204	DRAWN BY: R.GREGORY	PART #: SBC-S13164-60-FF
© COPYRIGHT 2003 HILTON DISPLAYS	WORK ORDER	1 of 3

THIS SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(N)(1) OF THE NATIONAL ELECTRICAL CODE.

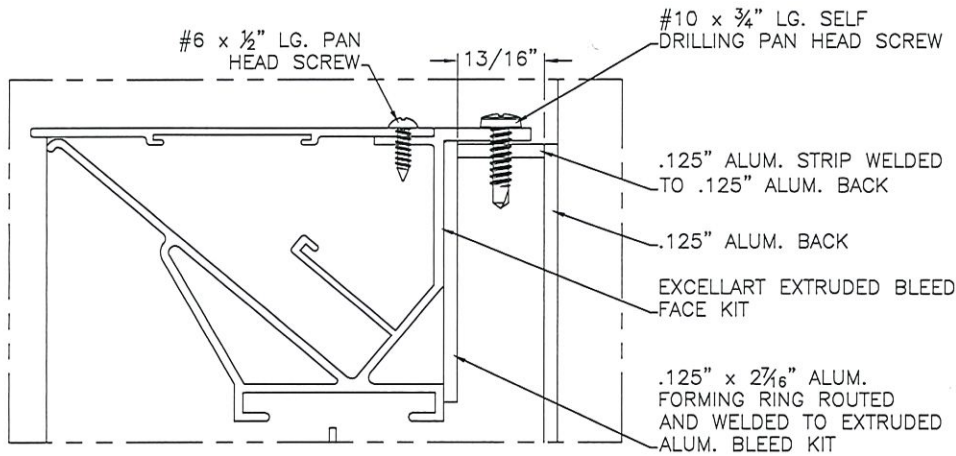


DRY	
DAMP	
WET	x

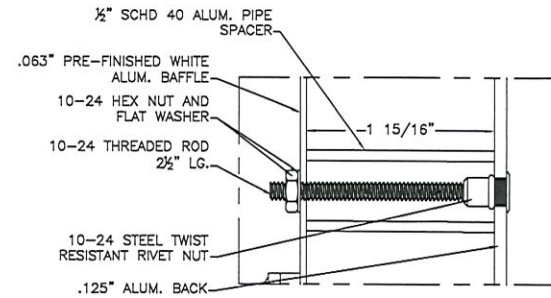
120-277V



SECTION A-A



DETAIL A



DETAIL B

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REVISIONS:	Δ	
	Δ	
	Δ	
PROJECT NAME:	STARBUCKS	
CUSTOMER:	STARBUCKS	
LOCATION:		
DESCRIPTION:	60" EXTERIOR S/F ILLUMINATED SIREN FLEX FACE	
DRAWING:	DRAWING	
DATE:	11/15/09	
DRAWN BY:	R. GREGORY	
WORK ORDER:		
PART #:	SEC-S13164-60-FF	
DATE:		2 of 3

HILTON DISPLAYS
Great Signs from Great Companies

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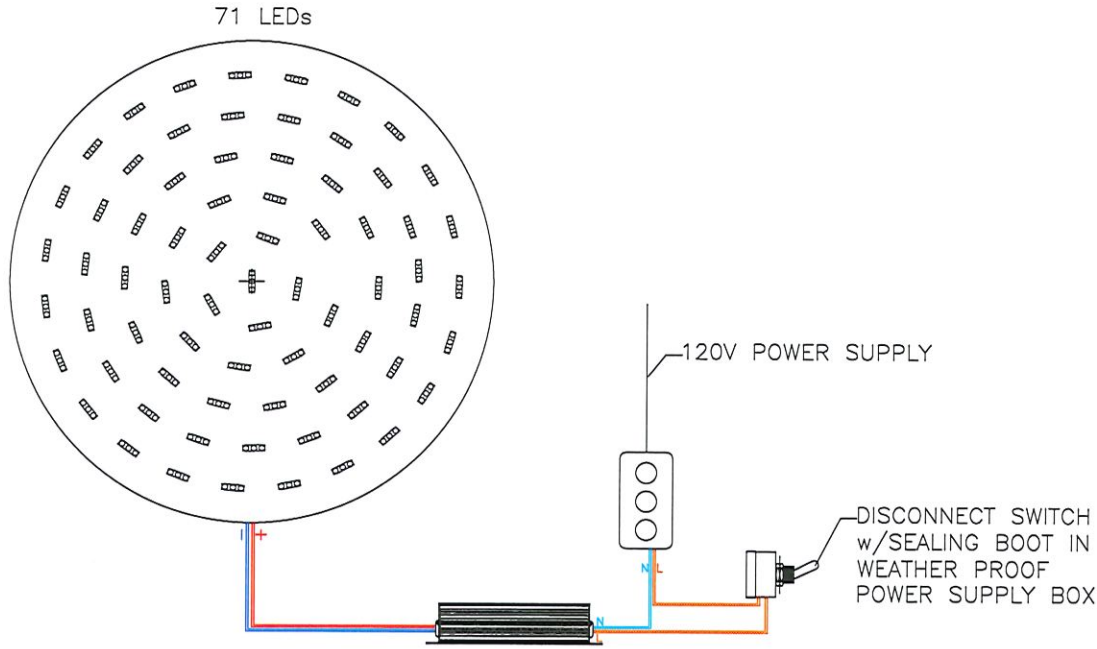
125 HILLSIDE DR.
GREENVILLE, SC 29607
PH.# 864-233-0401 FAX# 864-242-2204

THIS SIGN IS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE.



DRY	
DAMP	
WET	x

120-277V



COLORS:	FACES : WHITE FLEX W/ 1st SURFACE VINYL APPLIED VINYL : 3M #3630-126 DARK EMERALD GREEN VINYL RETURNS/EXTRUSION) : PAINTED BLACK SATIN
LED:	SLOAN : PRISM ENLIGHTEN 6500K WHITE (71)
WIRING:	UL APPROVED
DRIVERS:	(1) PRINCIPAL/SLOAN ENERGIZER 60W 100-277V @ 1.35A TOTAL SIGN AMPS 1.35A
MOUNTING:	MOUNT FLUSH TO WALL WITH 3/8" HARDWARE, OR MOST APPROPRIATE METHOD DETERMINED UPON WALL INSPECTION
CIRCUITS:	(1) 20A CIRCUIT REQUIRED

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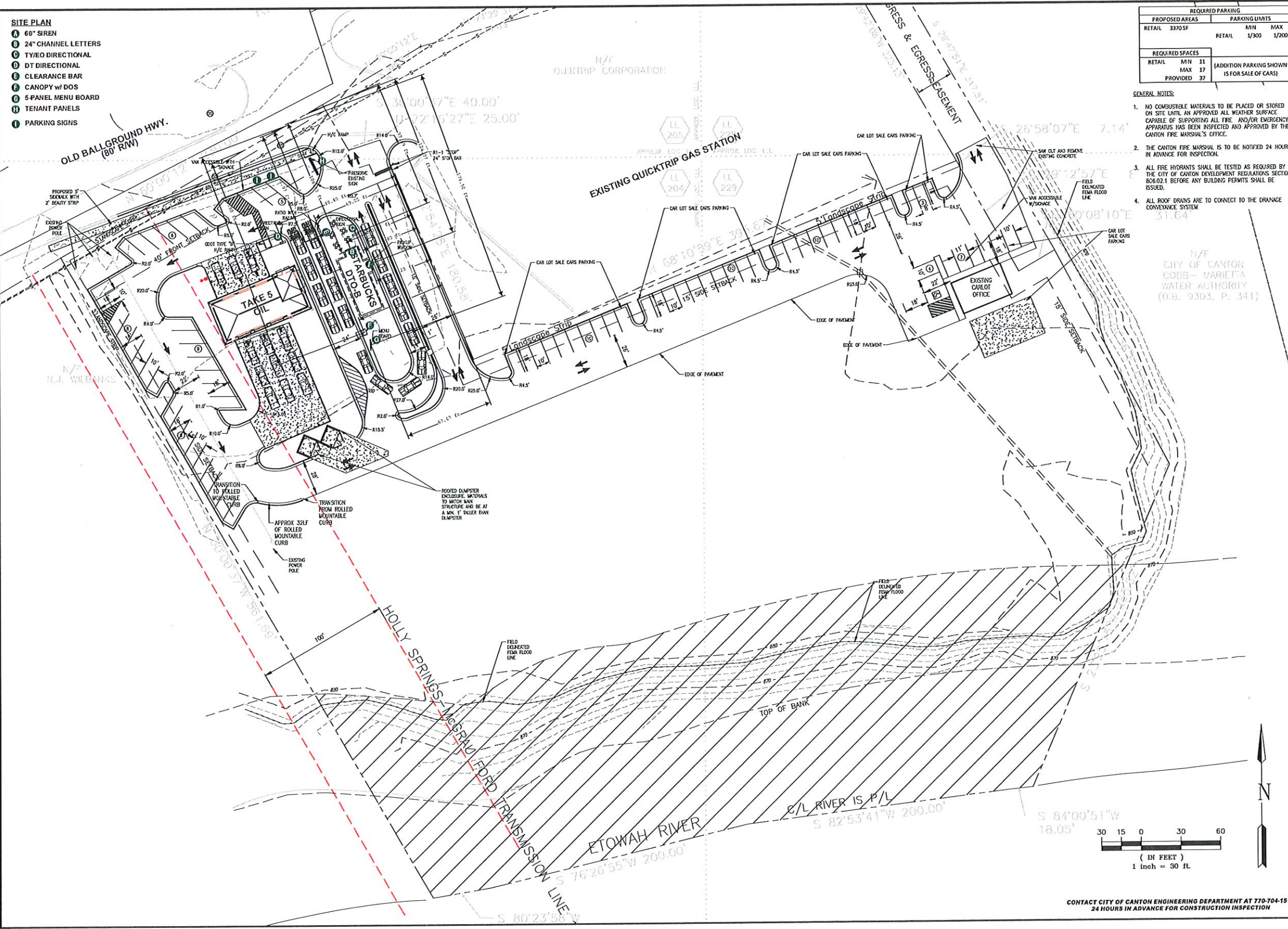
PROJECT NAME: STARBUCKS	CUSTOMER: STARBUCKS	REVISIONS:
LOCATION: 60° EXTERIOR S/E ILLUMINATED SIREN FLEX FACE	DESIGN BY: R.GREGORY	DATE: 3 of 3
DRAWING: 115709	WORK ORDER: SBC-S13164-60-F	



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125 HILLSIDE DR.
GREENVILLE, SC 29607
PH.# 864-235-0401 FAX.# 864-242-2204

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- SITE PLAN**
- ① 60" SIREN
 - ② 24" CHANNEL LETTERS
 - ③ TY/EO DIRECTIONAL
 - ④ DT DIRECTIONAL
 - ⑤ CLEARANCE BAR
 - ⑥ CANOPY w/ DOS
 - ⑦ 5-PANEL MENU BOARD
 - ⑧ TENANT PANELS
 - ⑨ PARKING SIGNS



REQUIRED PARKING	
PROPOSED AREAS	PARKING LIMITS
RETAIL 3370 SF	M/N MAX
	RETAIL 1/300 1/200
REQUIRED SPACES	
RETAIL M/N 11	(ADDITION PARKING SHOWN
MAX 17	IS FOR SALE OF CARS)
PROVIDED 37	

- GENERAL NOTES:**
- NO COMBUSTIBLE MATERIALS TO BE PLACED OR STORED ON SITE UNTIL AN APPROVED ALL WEATHER SURFACE CAPABLE OF SUPPORTING ALL FIRE AND/OR EMERGENCY APPARATUS HAS BEEN INSPECTED AND APPROVED BY THE CANTON FIRE MARSHAL'S OFFICE.
 - THE CANTON FIRE MARSHAL IS TO BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION.
 - ALL FIRE HYDRANTS SHALL BE TESTED AS REQUIRED BY THE CITY OF CANTON DEVELOPMENT REGULATIONS SECTION 808.02.1 BEFORE ANY BUILDING PERMITS SHALL BE ISSUED.
 - ALL ROOF DRAINS ARE TO CONNECT TO THE DRAINAGE CONVEYANCE SYSTEM.

N/F
CITY OF CANTON
COBB - MARIETTA
WATER AUTHORITY
(O.B. 9303, P. 341)

NO.	DATE	REVISION
1	1/22/2020	INITIAL SUBMITTAL
2	1/22/2020	3RD SUBMITTAL
3	1/22/2020	REVISED A/C SPACE LOCATION
4	1/22/2020	REVISED DRIVING AT PARKING AREA

LATIMER CONSTRUCTION
254 DEPOT STREET
BALLBOURNE, GA 30107
24 HR CONTACT: WES LATIMER (770) 294-8622

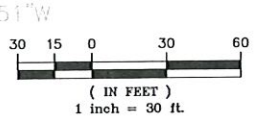
LAND DISTURBANCE PLANS
FOR
1478 RIVERSTONE PARKWAY
LOCATED IN CITY OF CANTON, CHEROKEE COUNTY, GEORGIA

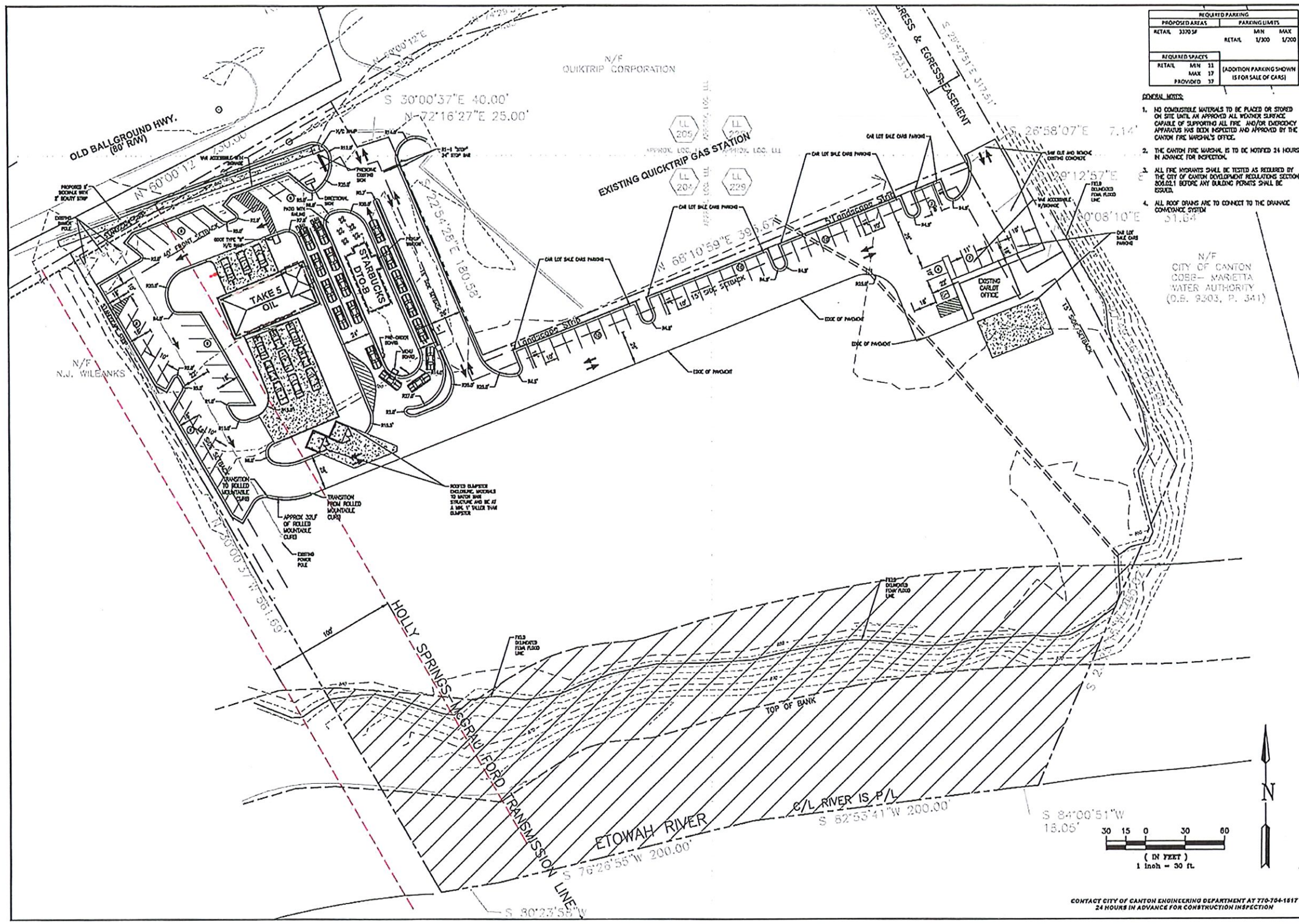
GREYDEN
ENGINEERING-PLANNING
12460 Chatsworth Road, Suite 202-274
Atlanta, GA 30328
770-355-8070



DATE	1/3/2020
JOB NO.	16-109
DESIGNED	RAD
CHECKED	RAD
SHEET:	C200

CONTACT CITY OF CANTON ENGINEERING DEPARTMENT AT 770-704-1517
24 HOURS IN ADVANCE FOR CONSTRUCTION INSPECTION





PROPOSED PARKING		PARKING LIMITS	
RETAIL	3370 SF	RETAIL	1/300
		MAX	1/200
REQUIRED SPACES		ADDITIONAL PARKING SHOWN IS FOR SALE OF CARS	
RETAIL	MIN 31		
	MAX 37		
PROVIDED	37		

- GENERAL NOTES:**
- NO COMBUSTIBLE MATERIALS TO BE PLACED OR STORED ON SITE UNTIL AN APPROVED ALL WEATHER SURFACE CAPABLE OF SUPPORTING ALL FIRE AND/OR EMERGENCY APPARATUS HAS BEEN INSPECTED AND APPROVED BY THE CANTON FIRE MARSHAL'S OFFICE.
 - THE CANTON FIRE MARSHAL IS TO BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION.
 - ALL FIRE HYDRANTS SHALL BE TESTED AS REQUIRED BY THE CITY OF CANTON DEVELOPMENT REGULATIONS SECTION 805.01 BEFORE ANY BUILDING PERMITS SHALL BE ISSUED.
 - ALL ROOF DRAINS ARE TO CONNECT TO THE DRAINAGE CONCERNANCE SYSTEM.

N/F
CITY OF CANTON
COSB - MARIETTA
WATER AUTHORITY
(O.S. 92003, P. 341)

REVISIONS	DATE	BY	DESCRIPTION

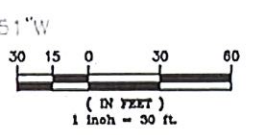
CLIENT
LATIMER CONSTRUCTION
225 GORDON STREET
CANTON, MISSISSIPPI 39002
24-HR CONTACT: WES LATIMER (770) 244-5252

LAND DISTURBANCE PLANS
FOR
1478 RIVERSTONE PARKWAY
LOCATED IN LAND LOTS 202, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

GREYDEN
ENGINEERING & PLANNING
12400 GARDNER ROAD, SUITE 200-314
ALPHARETTA, GEORGIA 30004
770-244-5252

DATE: 1/2/2020
JOB NO: 1478-199
DESIGNED: RAO
CHECKED: RAO
SHEET: C200

CONTACT CITY OF CANTON ENGINEERING DEPARTMENT AT 770-764-1817
24 HOURS IN ADVANCE FOR CONSTRUCTION INSPECTION



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