



MEMORANDUM

TO: Historic Preservation Commission

CC: Kevin Turner, Community Development Director

FROM: Tyler Peoples, City Planner

SUBJECT: COA2510-132 – 13 Riverdale Circle

DATE: 11/6/2025

The Department has received an application for a Certificate of Appropriateness at 13 Riverdale Circle. The Applicant is proposing a major rehabilitation to the existing home, which has been damaged by a fallen tree almost a year ago.

There is currently a stop work order on the property which was placed on December 3, 2024. Renovation and rehabilitation work had begun before proper building permits were obtained. At the time, the Historic District was not yet expanded to include single-family residential properties. The Applicant is now seeking Certificate of Appropriateness approval for the major rehabilitation and renovation of the structure and an addition to the rear of the home in order to proceed with the permitting process.

There is no Staff Report and recommendation to the Commission at this time due to receiving the application after the deadline for a decision at the November 13, 2025 meeting. This application is placed on the agenda simply for a discussion as to the completeness of the application and support materials provided to the Commission. The Commission should discuss whether or not they find the information provided to be ample material by which to make a decision for Certificate of Appropriateness approval.

Any feedback provided by the Commission at the November 13, 2025 meeting will be provided to the Applicant. A decision for this application is scheduled for the December 1, 2025 meeting.

Please review the attached application and support materials for more information. If you have any questions, please feel free to reach out to me.

Attachments: COA2510-132 Application (as submitted 10/21/2025), Photos from Code Compliance, Architectural Plans (Permit RO2508-084, currently under review)



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # _____ (staff only)

- Application Requirements:** All applications must be complete and include required support materials (listed on the reverse side of this application form). Incomplete applications will not be forwarded to the Canton Historic Preservation (HPC) for review. The applicant must submit the application and all supporting materials as the appropriate building permit option using the online permitting and licensing portal found here: <https://canton.onlama.com/>. For signs, submit the application and all supporting materials as a sign permit using the online permitting and licensing portal found here: <https://canton.onlama.com/>.
- Application Deadline:** Applications and support materials must be submitted fifteen (15) business days prior to the regular HPC meeting. Applications must be submitted to the Community Development Department.
- Application Representation:** The applicant or authorized representative of the applicant must attend the HPC meeting to support the application.
- Building Permit Requirements:** In addition to a COA application, building permits may be required from the Building Department. Building permits will not be issued without proof of a COA.
- Deadline for Project Completion:** After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
- Local Resources:** [The Canton City Map](#), [The Canton Historic District Design Guidelines](#), and [The Canton Historic District Residential Design Guidelines](#) provides a boundary map of the Canton Historic District, a design review process flowchart and a list of projects that require review and approval (administrative review by Community Development Department staff or review by the Canton HPC). The Guidelines are available at City Hall and on the City of Canton website.

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN THE APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE.

Contact Information:

Applicant Name*: Elmer Guzman Telephone: 678-232-5809
Email: elmerguzman13579@gmail.com
Mailing Address: 6 Riverdale Circle, Canton, GA 30114

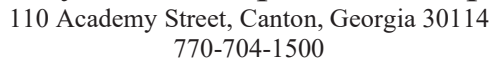
*NOTE: If the applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include the owner's telephone number and mailing address.

Property Information:

Address: 13 Riverdale Circle, Canton, GA 30114
Land Lot(s): _____
District/Section: _____ Map #: _____ Parcel #: _____
Zoning: _____ Present Use: _____

Scope of Work: (Check all that apply)

STAFF REVIEW:		HPC REVIEW:	
☐ Removal of non-historic detached structure	☐ Installation of screen or storm doors	☐ Addition	☐ Signs
☐ Maintenance of / change in paint color	☐ Installation of screen or storm windows	☐ Alteration	☐ Site Features
		☐ New Construction	☐ Demolition
		☐ Restoration	☐ Relocation
TYPE OF REVIEW:		☐ Commercial	☒ Residential
OTHER:			
☐ Amendment to previous COA, Project #:		☐ Other (Description):	



new roof installation, repair of the damaged porch and porch roof, and repair of the house siding.

[illegible]

Letter of Intent

To: Historic Preservation Commission

From: Elmer Guzman

Date: October 24, 2025

Subject: Intent to Undertake Major Restoration of Residential Single-Family Detached Home

Dear Members of the Historic Preservation Commission,

I, Elmer Guzman, am writing to formally express my intent to undertake a major restoration project for my residential single-family detached home, located at 13 Riverdale Circle, Canton, GA 30114. The purpose of this restoration is to preserve and enhance the historical integrity of the property while ensuring that all improvements remain consistent with the architectural character and guidelines set forth by the Historic Preservation Commission.

The planned restoration will include the following work: new roof installation, repair of the damaged porch and porch roof, and repair of the house siding. All proposed work will comply with local preservation standards, and I am committed to maintaining the home's historical value and authenticity.

I respectfully request the Commission's review and guidance throughout this process. I am prepared to provide detailed plans, photographs, and material samples as needed to assist in the evaluation of my proposed restoration.

Thank you for your time and consideration. I look forward to working with the Commission to ensure this restoration meets all preservation requirements and contributes positively to our community's historic character.

Sincerely,

Elmer Guzman

6 Riverdale Circle

Canton, GA 30114

Phone: 678-232-5809

Email: elmerguzman13579@gmail.com

Description of Proposed Changes

Property Address: 13 Riverdale Circle, Canton, GA 30114

The proposed project involves necessary exterior repairs and improvements to maintain the structural integrity and appearance of the home while preserving its existing architectural character. The scope of work includes replacing the existing roof, repairing the damaged front porch and porch roof, and repairing or replacing sections of house siding where deterioration has occurred.

Roof Replacement:

The new roof will be replace the destroyed roof with new architectural asphalt shingles in a color consistent with the current exterior palette. All damaged roof decking will be replaced with 1/2" exterior-grade plywood. New underlayment, drip edges, flashing, and ridge ventilation will be installed to meet current building standards. Any compromised structural members, such as rafters or fascia boards, will be replaced with new, pressure-treated lumber.

Porch and Porch Roof Repair:

The damaged porch structure will be repaired to restore its safety and original design. This includes replacing any rotted or weakened wood framing and decking materials with matching wood components. The porch roof will also be repaired or replaced using the same shingle material as the main roof to ensure a consistent appearance. Trim, posts, and railings will be repaired or replaced to match existing details and proportions.

House Siding Repair:

Damaged or deteriorated siding will be replaced with new vinyl siding that matches the existing color, size, and profile of the home's current exterior. Where siding is removed, a weather-resistant barrier (house wrap) will be applied before installation to improve moisture protection. Trim boards and corner pieces will be replaced as needed with PVC or composite trim to ensure long-term durability and a seamless visual transition.

All work will be performed in a manner that maintains the existing architectural style and character of the home. The proposed materials and methods are intended to improve weather resistance, ensure safety, and enhance the longevity of the structure without altering its historical appearance.

Prepared by:

Elmer Guzman

6 Riverdale Circle

Canton, GA 30114

Phone: 678-232-5809

Email: elmerguzman13579@gmail.com

Architectural Elevation Description

Property Address: 13 Riverdale Circle, Canton, GA 30114

This description provides an overview of the existing architectural elevations and the proposed exterior changes for the residence at 13 Riverdale Circle. The intent of the project is to restore and improve the property's exterior condition while maintaining the home's original architectural character and visual harmony within the neighborhood.

Front (South) Elevation

The front elevation features a gable-style roof with a covered porch extending across a portion of the façade. The existing roof shingles show visible wear and will be replaced with new architectural asphalt shingles in a color closely matching the current tone. The porch roof and support structure will be repaired using matching wood materials. Damaged porch decking, columns, and trim will be replaced in kind, replicating existing profiles and dimensions. The siding on the front elevation will be repaired or replaced as needed with vinyl siding that matches the original style and color, preserving the home's visual consistency.

Left (East) Elevation

The left elevation includes the main roof slope and portions of the side wall visible from the street. Any deteriorated siding panels will be replaced with matching vinyl siding. The new roof materials, flashing, and drip edges will continue uniformly across this elevation. Trim and fascia boards will be repaired or replaced as necessary using PVC or treated wood, finished to match the existing color scheme.

Right (West) Elevation

The right elevation mirrors the left in material and design. Minor repairs will be performed on siding sections showing wear or damage. The new roof installation will maintain the same ridge height, slope, and overhangs as existing conditions to preserve the home's proportions.

Rear (North) Elevation

The rear elevation consists of a simple gable extension with existing vinyl siding and roof eaves. Repairs to siding and trim will be made using matching materials to maintain a consistent appearance on all sides. Any damaged porch components at the rear, if applicable, will be repaired or replaced with similar materials.

All elevations will maintain their original dimensions, rooflines, and decorative trim details. No changes will be made to the building's height, footprint, or general architectural form. The replacement materials have been carefully selected to ensure visual compatibility, weather resistance, and long-term durability, aligning with the existing residential character of the property and surrounding neighborhood.

Prepared by:

Elmer Guzman

6 Riverdale Circle

Canton, GA 30114

Phone: 678-232-5809

Email: elmerguzman13579@gmail.com

Description of Materials

Property Address: 13 Riverdale Circle, Canton, GA 30114

This document provides a detailed description of the materials to be used for the renovation work at the above address. The scope of work includes the installation of a new roof and the replacement or repair of house siding where needed.

Roofing Materials:

- Architectural asphalt shingles – 30-year warranty, weather-resistant, color to match existing structure.
- Roofing underlayment – synthetic felt underlayment for moisture protection.
- Plywood sheathing – 1/2" exterior-grade plywood for roof decking replacement where damaged.
- Roof framing lumber – pressure-treated 2x6 and 2x8 lumber for replacing any damaged rafters or supports.
- Drip edge – aluminum or galvanized steel along all eaves and rakes.
- Flashing – pre-finished aluminum flashing around valleys, chimneys, vents, and roof penetrations.
- Ridge vent – continuous ridge ventilation system for proper attic airflow.
- Roofing nails – corrosion-resistant galvanized roofing nails.
- Sealant and roofing cement – used for waterproofing roof penetrations and flashing joints.

House Siding Materials (Where Needed):

- Vinyl siding – standard gauge, color and profile to match existing exterior.
- Weather-resistant barrier (house wrap) – applied behind siding to improve moisture protection.
- Trim boards – PVC or composite trim for windows, doors, and corners as required.
- Fasteners – corrosion-resistant siding nails or screws.
- Caulking and sealant – exterior-grade sealant for joints and seams.

All materials will comply with local building codes and manufacturer specifications. Installation will follow industry best practices to ensure durability, weather resistance, and proper aesthetic integration with the existing structure.

Prepared by:

Elmer Guzman

6 Riverdale Circle

Canton, GA 30114

Phone: 678-232-5809

Email: elmerguzman13579@gmail.com

Documentation of Earlier Historic Appearance

Property Address: 13 Riverdale Circle, Canton, GA 30114

The property located at 13 Riverdale Circle is situated within the Historic District of Canton, Georgia. This document provides information regarding the availability of any records, photographs, or descriptions of the home's earlier historic appearance.

The property owner, Elmer Guzman, has not yet attended a Historic Preservation Commission meeting related to this project, but intends to attend a future meeting to present the proposed work and discuss the project in accordance with Historic District review procedures.

All proposed repairs and exterior improvements— including the new roof installation, porch repair, and siding replacement— will be conducted with care to preserve the architectural integrity and visual compatibility of the home within the historic district. Materials and construction methods will be consistent with the home's existing design and the guidelines set forth by the Historic Preservation Commission.

Prepared by:

Elmer Guzman

6 Riverdale Circle

Canton, GA 30114

Phone: 678-232-5809

Email: elmerguzman13579@gmail.com

RIVERDALE CIRCLE

USE GROUP:	-
SCOPE OF WORK:	ALTERATION OF A TWO STORY WOOD FRAMED BUILDING
ZONING CLASSIFICATION:	-
CONSTRUCTION CLASS:	UNPROTECTED
HOUSE FIN. ASSEMBLY:	1/2" GYPSUM BD. WALL & CEILING
SEISMIC CATEGORY:	-
DESIGN LOADS:	LIVE LOAD: SLEEPING = 30 PSF NON-SLEEPING = 40 PSF DECKS = 40 PSF DEAD LOAD = 10 PSF BASIC WIND SPEED = 90 MPH STAIR LOAD = 40 PSF ROOF LIVE LOAD = 20 PSF

FOR MORE INFORMATION AND OTHER RELATED REQUIREMENTS,
SEE ICC, *INTERNATIONAL BUILDING CODE*, SECTION R301

THIS PROJECT HAS BEEN DESIGNED AND SHALL BE
CONSTRUCTED IN ACCORDANCE WITH GEORGIA MINIMUM
STAGE CODE AND THE 2024 (OR MORE RECENT) DCA
AMENDMENTS:

- INTERNATIONAL BUILDING CODE, 2024 EDITION WITH GEORGIA STATE AMENDMENTS
- INTERNATIONAL PLUMBING CODE, 2024 EDITION WITH GEORGIA STATE AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2024 EDITION WITH GEORGIA STATE AMENDMENTS
- INTERNATIONAL ELECTRICAL CODE, 2024 EDITION WITH GEORGIA STATE AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE, 2024 EDITION WITH GEORGIA STATE AMENDMENTS

NOT ALL DEPICTIONS ARE DISPLAYED AT THE SAME SCALE

0	COVER
A101	EXISTING FOUNDATION
A102	PROPOSED FOUNDATION
A103	EXISTING CRAWLSPACE
A104	PROPOSED CRAWLSPACE
A105	EXISTING FIRST FLOOR
A106	PROPOSED FIRST FLOOR
A107	PROPOSED SECOND FLOOR
A108	EXISTING ROOF
A109	PROPOSED ROOF
A201	EXISTING FRONT & RIGHT
A202	PROPOSED FRONT & RIGHT
A203	EXISTING LEFT & REAR
A204	PROPOSED LEFT & REAR
A301	BUILDING SECTIONS
E101	FIRST FLOOR ELEC.
E102	SECOND FLOOR ELEC.
G001	SPAN CHARTS

EXIST. FIRST FLOOR	848 SF
EXIST. FRONT PORCH	130 SF
EXIST. REAR PORCH	78 SF
PROP. FIRST FLOOR	1147 SF
PROP. SECOND FLOOR	521 SF
PROP. FRONT PORCH	130 SF
EXISTING TOTAL:	848 SF
PROPOSED TOTAL :	1668 SF

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, FHAAV/HUD/ MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE THE BEGINNING CONSTRUCTION; ANY DISCREPANCIES SHALL BE REPORTED TO BENTLEY HOME PLANNING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED
4. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SIDE REQUIREMENTS

- DRAWINGS, WHICH ARE NON-ARCHITECTURAL (ELECTRICAL, PLUMBING, HVAC, ETC.) ARE DIAGRAMMATIC AND ARE ONLY INTENDED TO SHOW GENERAL LOCATIONS OF DUCTS, PIPES, AND EQUIPMENT AND THE METHODS OF CONNECTING AND CONTROL. THE TRADES SUBCONTRACTORS ARE RESPONSIBLE FOR CHOICES IN ACTUAL HARDWARE AND INSTALLATION METHODS
- THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONDITIONS AND THE WORK OF OTHER TRADES PERMIT.
- THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL OR ALL OFFSETS, TRANSITIONS, OR FITTINGS REQUIRED FOR A COMPLETE SYSTEM NOR IS IT IMPLIED THAT ALL CONFLICTS BETWEEN BUILDING ELEMENTS AND/OR OTHER TRADES ARE INDICATED.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE, AND NOTIFY THE DRAFTSMAN OF ANY DISCREPANCIES WHICH CAN BE ADDRESSED
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR EXACT LOCATION OF DOORS, WINDOWS, LIGHTS, ETC.
- SIGNIFICANT DEVIATIONS OR CHANGES FROM THE DRAWINGS, WHICH ARE REQUIRED TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE REVIEWED AND APPROVED BY THE RELEVANT JURISDICTION'S ENGINEER OR ARCHITECT BEFORE PROCEEDING OR RETURNED TO STEWARD DRAFTING AND ESTIMATION FOR REVISION. IF THE CONTRACTOR BELIEVES CHANGES TO THE CONTRACT DRAWINGS ARE NECESSARY, SHOP DRAWINGS WITH WRITTEN DESCRIPTIONS OF THE PROPOSED CHANGES SHALL BE SUBMITTED TO THE RELEVANT JURISDICTION FOR APPROVAL.
- PRIOR TO INSTALLING EQUIPMENT, DUCT, OR PIPE, COORDINATE THE PROPOSED LOCATIONS WITH EACH TRADE/DISCIPLINE AND GC. EXAMINE EACH DISCIPLINE'S DRAWINGS FOR CONSTRUCTION DETAILS, CEILING HEIGHTS, REQUIRED CLEARANCES, AND SPACE CONSTRAINTS. PROVIDE SYSTEMS INSTALLATION BASED ON THIS EXAMINATION AND COORDINATION. IMMEDIATELY REPORT INSTALLATION CONFLICTS IN WRITING TO THE GC. IF CONFLICTS REQUIRE PLAN REVISION, REFER TO THE PREVIOUS POINT. RESOLVE ALL CONFLICTS WITH GC AND OTHER TRADES PRIOR TO PROCEEDING. INSTALLING CONTRACTOR IS FULLY RESPONSIBLE FOR CORRECT INTERPRETATION AND APPLICATION OF ALL SIZES AND DIMENSIONS.
- DRAFTSMAN AND STEWARD DRAFTING AND ESTIMATION, LLC. ARE NOT RESPONSIBLE FOR MISREADING OR MISCALCULATION OF VALUES RELATED TO THESE DRAWINGS



STEWART DRAFTING
AND ESTIMATION
STEWARTPLANS.COM
470-222-0493

AS A RESIDENTIAL DESIGN
COMPANY, THESE PLANS WERE
NOT STAMPED BY AN ARCHITECT
OR ENGINEER - THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
STRUCTURAL INTEGRITY &
BUILDING DESIGN PER CODE

PROPOSED FOR
CONSTRUCTION

VERSION	1.0
DATE	8/10/25

[illegible]

PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

**RIVERDALE
CIRCLE**

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

COVER

CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
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1

18

SCALE



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RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

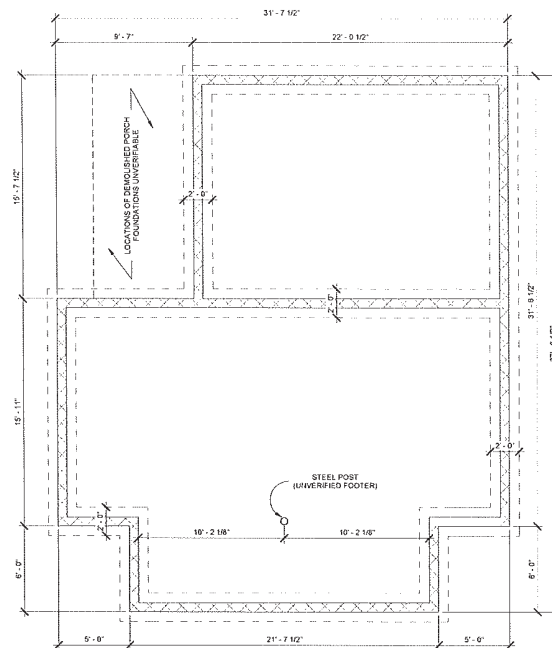
13 Riverdale Circle
Canton, GA 30114

EXISTING FOUNDATION

CURRENT PAGE NUMBER TOTAL NUMBER OF PAGES

A101 18

SCALE 1/4" = 1'-0"



① B.O. Foundation Existing
1/4" = 1'-0"

PAGE NOTES

- FIRST LEVEL CEILING HEIGHTS ARE 10'0" UNLESS OTHERWISE NOTED.
- APPLY A MINIMUM OF (2) PLY 2X10 HEADERS TO ALL DOOR AND WINDOW OPENINGS AND BEARING WALLS UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (1) JACK STUD AND (1) KING STUD AT EACH END OF ALL HEADERS UNLESS OTHERWISE NOTED
- OVERHANGS ARE 24" UNLESS OTHERWISE NOTED
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND IF THEY ARE NOT VERIFIED BY A LICENSED, STRUCTURAL ENGINEER, THE BUILDER WILL BE RESPONSIBLE FOR ALL STRUCTURAL INTEGRITY
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR



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RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

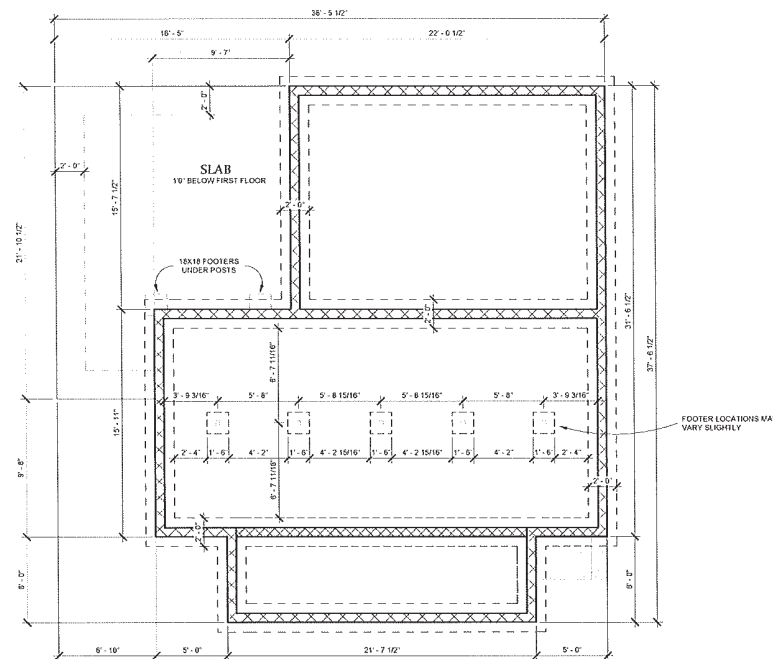
13 Riverdale Circle
Canton, GA 30114

PROPOSED FOUNDATION

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A102 18

SCALE 1/4" = 1'-0"



1 B.O. Foundation Proposed
1/4" = 1'-0"

PAGE NOTES

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RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

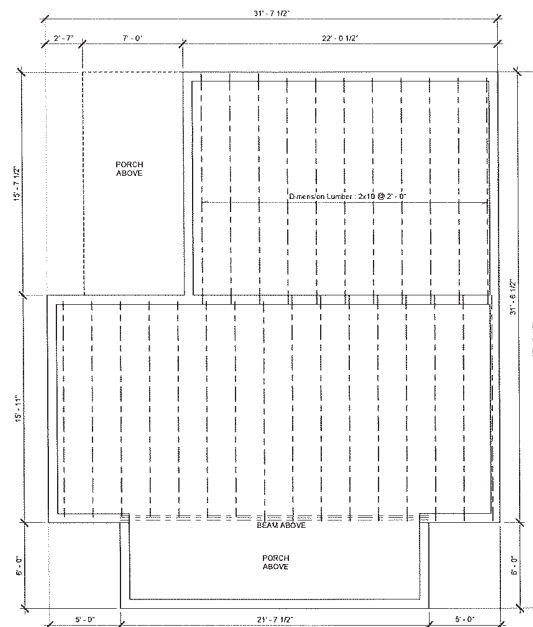
13 Riverdale Circle
Canton, GA 30114

EXISTING CRAWLSPACE

CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
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A103	18
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SCALE	1/4" = 1'-0"
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① Crawlspace Existing
1/4" = 1'-0"

PAGE NOTES

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- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR

PROPOSED FOR
CONSTRUCTION[illegible]

**RIVERDALE
CIRCLE**

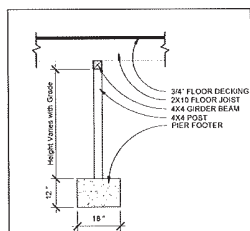
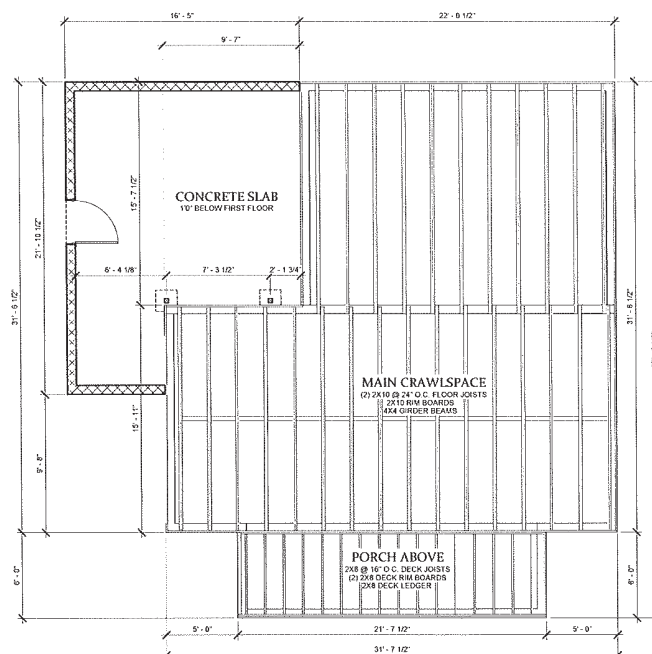
HOME/PROPERTY OWNERS

13 Riverdale Circle
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PROPOSED
CRAWLSPACE

A104	18
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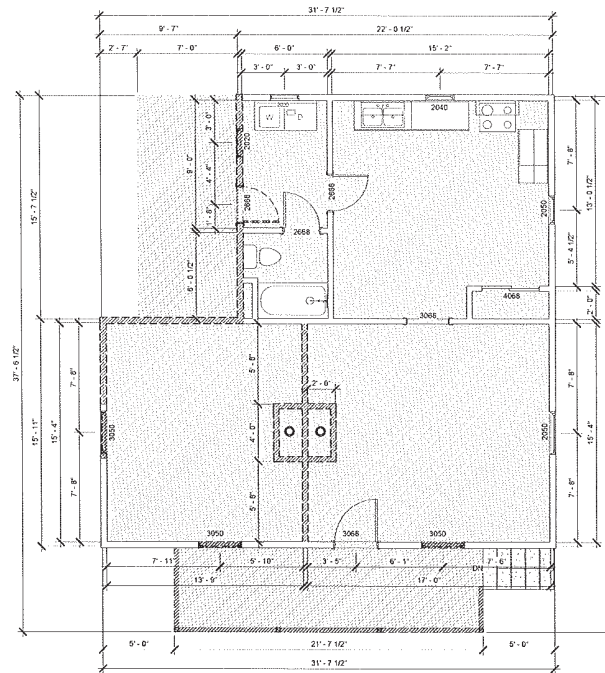


② Pier Detail
1/2" = 1'-0"

PAGE NOTES

- APPLY A MINIMUM OF (2) PLY 2X10 HEADERS TO ALL DOOR AND WINDOW OPENINGS AND BEARING WALLS UNLESS OTHERWISE NOTED
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- APPLY A MINIMUM OF (2) PLY 2X10
- HEADERS TO ALL DOOR AND WINDOW OPENINGS AND BEARING WALLS UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (1) JACK STUD AND (1) KING STUD AT EACH END OF ALL HEADERS UNLESS OTHERWISE NOTED
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND IF THEY ARE NOT VERIFIED BY A LICENSED, STRUCTURAL ENGINEER, THE BUILDER WILL BE RESPONSIBLE FOR ALL STRUCTURAL INTEGRITY
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR



① First Floor Existing



AS A RESIDENTIAL DESIGN
COMPANY, THESE PLANS WERE
NOT STAMPED BY AN ARCHITECT
OR ENGINEER - THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
STRUCTURAL INTEGRITY &
BUILDING DESIGN PER CODE

VERSION	1.0
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**RIVERDALE
CIRCLE**

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HOME/PROPERTY OWNERS

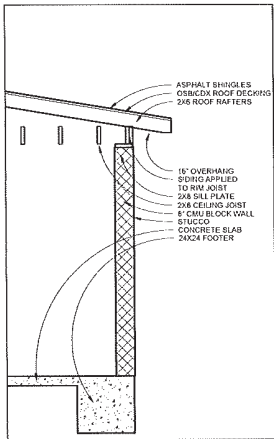
13 Riverdale Circle
Canton, GA 30114

EXISTING
FIRST FLOOR

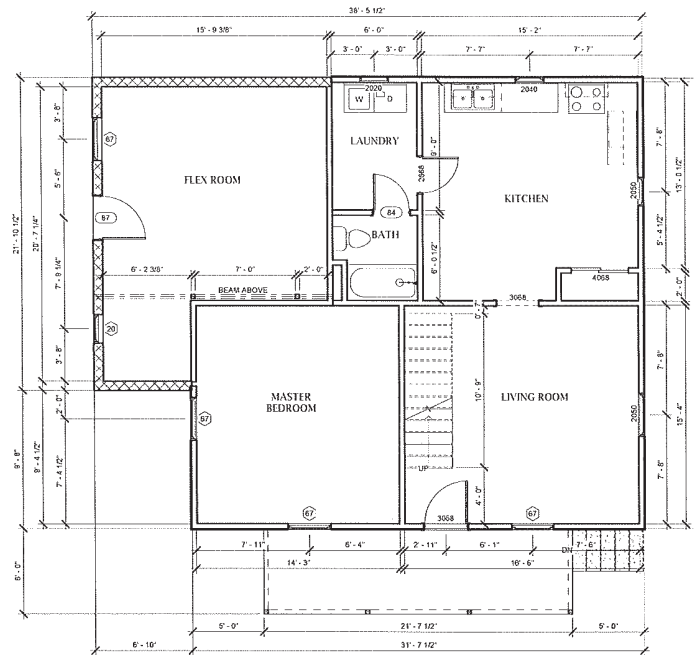
CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
A105	18
SCALE	$1/4" = 1'-0"$

SCALE $1/4" = 1'-0"$

- FIRST LEVEL CEILING HEIGHTS ARE 8'0" UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (2) PLY 2X10 HEADERS TO ALL DOOR AND WINDOW OPENINGS AND BEARING WALLS UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (1) JACK STUD AND (1) KING STUD AT EACH END OF ALL HEADERS UNLESS OTHERWISE NOTED
- OVERHANGS ARE 18" UNLESS OTHERWISE NOTED
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND IF THEY ARE NOT VERIFIED BY A LICENSED, STRUCTURAL ENGINEER, THE BUILDER WILL BE RESPONSIBLE FOR ALL STRUCTURAL INTEGRITY
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR



② Flex Room Wall
 $1/2" = 1'-0"$



① First Floor Proposed
1/4" = 1'-0"



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VERSION	1.0
DATE	8/10/25

[illegible]

PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

PROPOSED
FIRST FLOOR

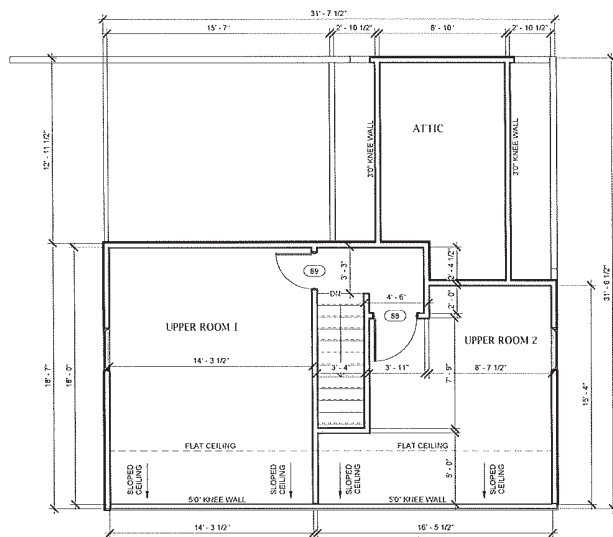
CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
A106	18

SCALE	As indicated
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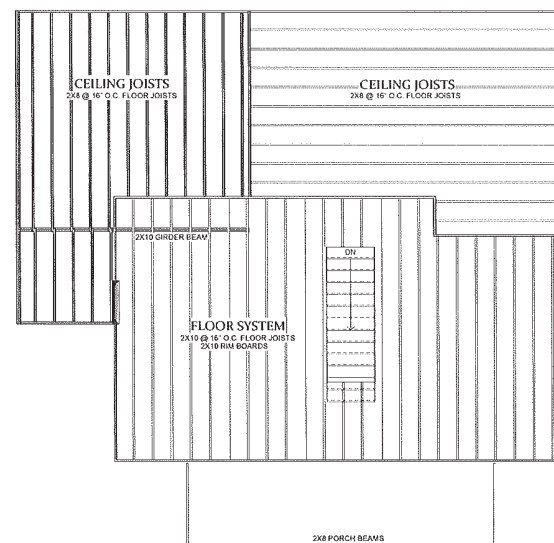
- FIRST LEVEL CEILING HEIGHTS ARE 10'0" UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (2) PLY 2X10 HEADERS TO ALL DOOR AND WINDOW OPENINGS AND BEARING WALLS UNLESS OTHERWISE NOTED
- APPLY A MINIMUM OF (1) JACK STUD AND (1) KING STUD AT EACH END OF ALL HEADERS UNLESS OTHERWISE NOTED
- OVERHANGS ARE 18" UNLESS OTHERWISE NOTED
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND IF THEY ARE NOT VERIFIED BY A LICENSED, STRUCTURAL ENGINEER, THE BUILDER WILL BE RESPONSIBLE FOR ALL STRUCTURAL INTEGRITY
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR

Count	Type	Mark
1	2068 SINGLE	89
1	3068 SINGLE	88

Count	Type	Type Mark
2	3050	67



① Proposed Second Floor



② Second Floor Framing



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VERSION	1.0
DATE	8/10/25

[illegible]

PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

**RIVERDALE
CIRCLE**

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

PROPOSED
SECOND
FLOOR

CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
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A107

18

SCALE $1/4" = 1'-0"$



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BUILDING DESIGN PER CODE

PROPOSED FOR CONSTRUCTION

VERSION 1.0
DATE 8/10/25

REVISIONS		
No.	Description	Date

PROJECT NO. 002
AUTHOR JS
CHECKER JS

RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

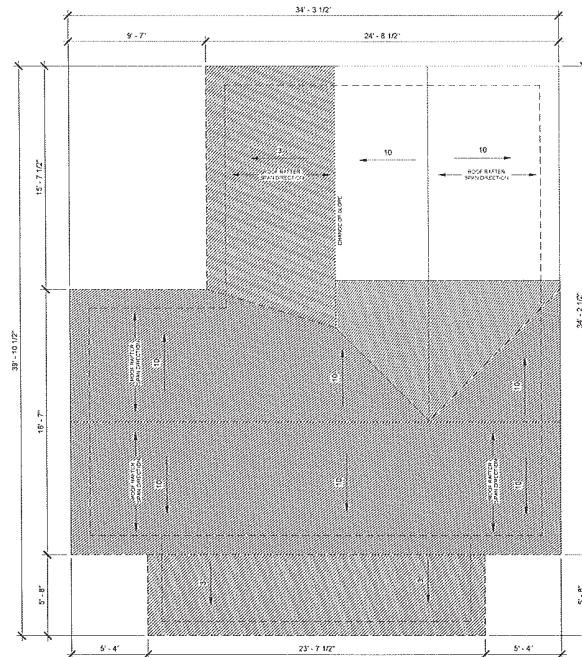
13 Riverdale Circle
Canton, GA 30114

EXISTING ROOF

CURRENT PAGE TOTAL NUMBER
NUMBER OF PAGES

A108 18

SCALE 1/4" = 1'-0"



① Existing Roof
1/4" = 1'-0"

PAGE NOTES

- 6" ROOF RAFTERS
- ALL FLASHING APPLIED PER CODE/AREA REQUIREMENTS
- ROOF AND SOFFIT VENTS AS REQUIRED BY CODE
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- ALL CAVES HAVE A 6" FASCIA; SEE REFERENCED DIAGRAMS AND NOTES FOR MORE DETAILS
- WALLS AND ROOF USE 5/8" OR 7/16" ZIP/OSB SYSTEM SHEATHING
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND BE VERIFIED BY A LICENSED, STRUCTURAL ENGINEER



PROPOSED FOR
CONSTRUCTION

[illegible]

**RIVERDALE
CIRCLE**

HOME/PROPERTY OWNERS

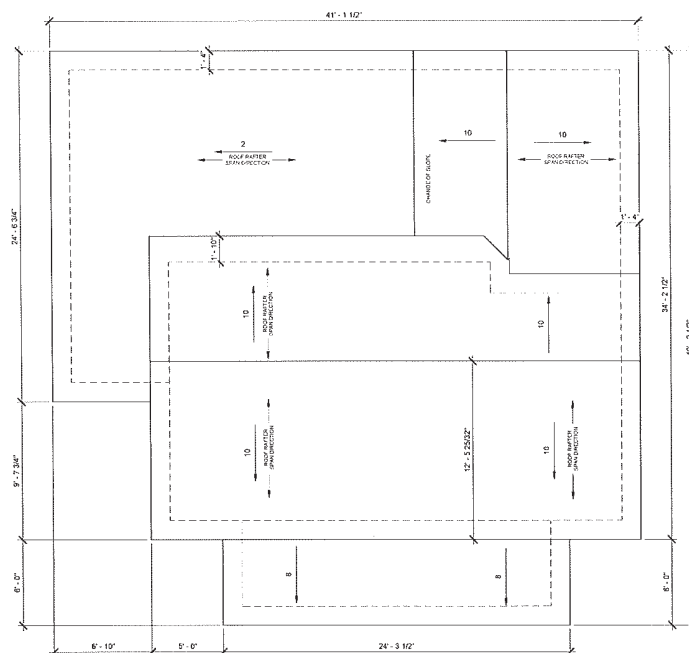
13 Riverdale Circle
Canton, GA 30114

PROPOSED
ROOF

A109

18

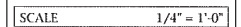
SCALE $1/4" = 1'-0"$



1 Proposed Roof

- 5" ROOF RAFTERS
- ALL FLASHING APPLIED PER CODE/AREA REQUIREMENTS
- ROOF AND SOFFIT VENTS AS REQUIRED BY CODE
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- ALL EAVES HAVE A 6" FASCIA; SEE REFERENCED DIAGRAMS AND NOTES FOR MORE DETAILS
- WALLS AND ROOF USE 5/8" OR 7/16" ZIP/OSB SYSTEM SHEATHING
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND BE VERIFIED BY A LICENSED, STRUCTURAL ENGINEER

- ELEVATIONS ARE SIMPLY PICTORIAL REPRESENTATIONS OF THE EXTERIOR OF THE BUILDING AND ARE NOT MEANT TO DICTATE DIMENSIONS OR BE USED FOR REFERENCE IN STRUCTURAL MATTERS
- AS AN EXISTING BUILDING, MEASUREMENTS MAY VARY SLIGHTLY DUE TO MEASUREMENT TECHNIQUE, ERRORS IN REPORTING DIMENSIONS, OR USE OF NON-STANDARD FRAMING METHODS.
- COMPONENTS MARKED FOR DEMOLITION ARE SHADED. REFER TO KEY BELOW
- EXISTING BUILDING MAY NOT BE TO CODE OR LOCAL STANDARDS
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- EXISTING HEADER HEIGHT IS 7'0" ON FIRST FLOOR





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CONSTRUCTION

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[illegible]

PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

**RIVERDALE
CIRCLE**

Elmer
Guzman

HOME/PROPERTY OWNERS

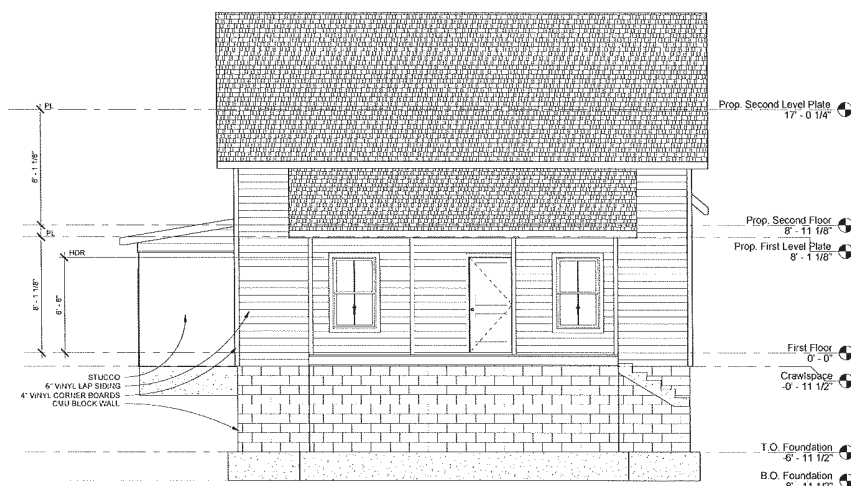
13 Riverdale Circle
Canton, GA 30114

PROPOSED
FRONT &
RIGHT

CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
------------------------	--------------------------

A202
18

SCALE $1/4" = 1'-0"$



① Front Proposed
1/4" = 1'-0"



② Right Proposed
1/4" = 1'-0"

PAGE NOTES

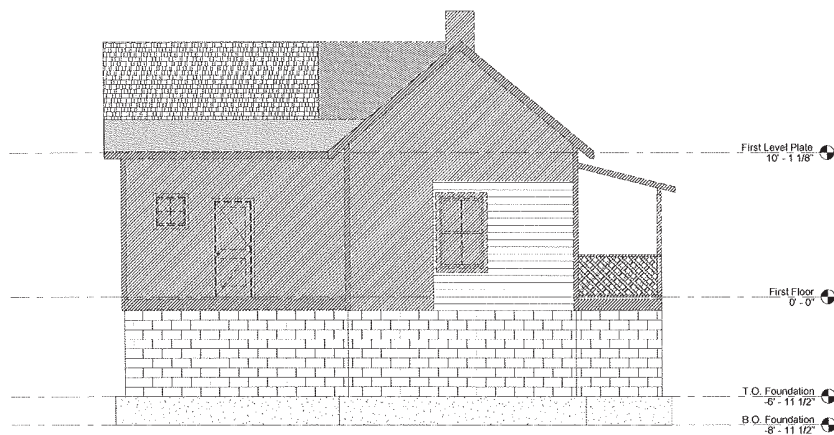
ELEVATIONS ARE SIMPLY PICTORIAL REPRESENTATIONS OF THE EXTERIOR OF THE BUILDING AND ARE NOT MEANT TO DICTATE DIMENSIONS OR BE USED FOR REFERENCE IN STRUCTURAL MATTERS

- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- ALL EAVES HAVE A 6" FASCIA; SEE REFERENCED DIAGRAMS AND NOTES FOR MORE DETAILS
- ALL EXTERIOR WINDOWS & DOORS HAVE A DRIP EDGE (FLASHING) ON UPPER EDGE
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR
- HEADER HEIGHT IS 6'6" ON FIRST FLOOR
- WALLS & ROOF USE 5/8" OR 7/16" 21P/OSB SYSTEM SHEATHING
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES AND BE VERIFIED BY A LICENSED, STRUCTURAL ENGINEER

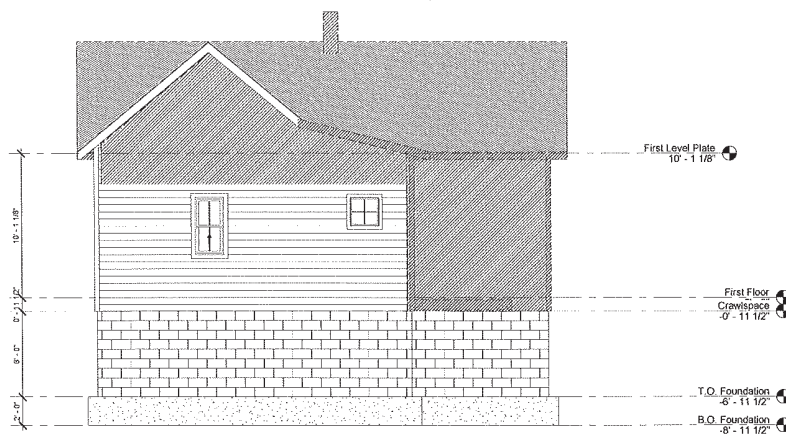
ELEVATIONS ARE SIMPLY PICTORIAL REPRESENTATIONS OF THE EXTERIOR OF THE BUILDING AND ARE NOT MEANT TO INDICATE DIMENSIONS OR BE USED FOR REFERENCE IN STRUCTURAL MATTERS

AS AN EXISTING BUILDING, MEASUREMENTS MAY VARY SLIGHTLY DUE TO MEASUREMENT TECHNIQUE, ERRORS IN REPORTING DIMENSIONS, OR USE OF NON-STANDARD FRAMING METHODS.

- COMPONENTS MARKED FOR DEMOLITION ARE SHADED. REFER TO KEY BELOW
- EXISTING BUILDING MAY NOT BE TO CODE OR LOCAL STANDARDS
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- EXISTING HEADER HEIGHT IS 70" ON FIRST FLOOR



① Existing Left
1/4" = 1'-0"



② Existing Rear
1/4" = 1'-0"



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CONSTRUCTION

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DATE	8/10/25

[illegible]

PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

**RIVERDALE
CIRCLE**

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

EXISTING
LEFT & REAR

CURRENT PAGE
NUMBER

A203

TOTAL NUMBER OF PAGES

18

SCALE $1/4" = 1'-0"$



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No.	Description	Date

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RIVERDALE CIRCLE

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13 Riverdale Circle
Canton, GA 30114

PROPOSED LEFT & REAR

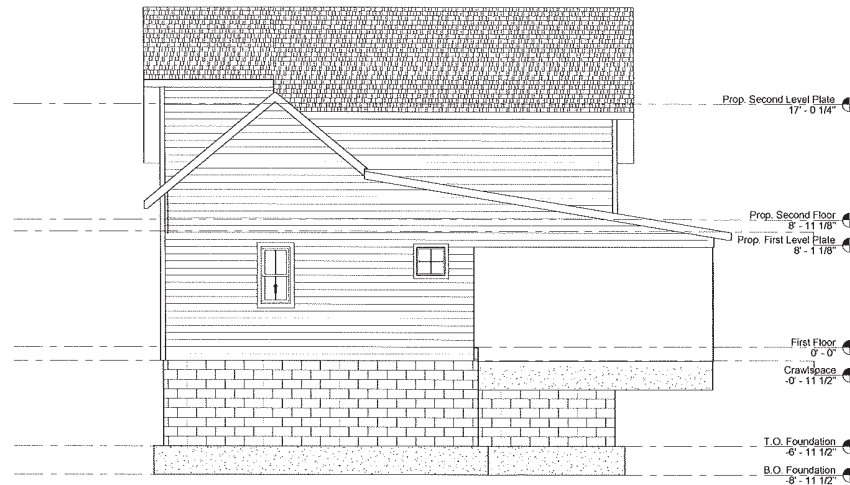
CURRENT PAGE NUMBER TOTAL NUMBER OF PAGES

A204 18

SCALE 1/4" = 1'-0"



① Left Proposed
1/4" = 1'-0"



② Rear Proposed
1/4" = 1'-0"

PAGE NOTES

- ELEVATIONS ARE SIMPLY PICTORIAL REPRESENTATIONS OF THE EXTERIOR OF THE BUILDING AND ARE NOT MEANT TO DICTATE DIMENSIONS OR BE USED FOR REFERENCE IN STRUCTURAL MATTERS
- DIMENSIONS MAY VARY SLIGHTLY, DUE TO CONSTRUCTION AND/OR CONTRACTOR
- ALL STRUCTURAL DETAILS AND FRAMING TO COMPLY WITH LOCAL BUILDING CODES; IF NO ARCHITECT OR STRUCTURAL ENGINEER STAMPS THESE PLANS, THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE BUILDING
- OVERHANGS ARE 16" UNLESS OTHERWISE NOTED
- ALL EAVES HAVE A 6" FASCIA; SEE REFERENCED DIAGRAMS AND NOTES FOR MORE DETAILS
- ALL EXTERIOR WINDOWS & DOORS HAVE A DRIP EDGE (FLASHING) ON UPPER EDGE
- HEADER HEIGHT IS 6" ON FIRST FLOOR
- WALLS AND ROOF USE 5/8" OR 7/16" ZIP/OSB SYSTEM SHEATHING

PROPOSED FOR
CONSTRUCTION[illegible]

**RIVERDALE
CIRCLE**

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

BUILDING SECTIONS

A301	18
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SCALE $3/8" = 1'-0"$



THE PLACEMENT AND INSTALLATION OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE FOLLOWING CODES & REQUIREMENTS:

THE PLACEMENT AND INSTALLATION OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE FOLLOWING CODES & REQUIREMENTS:

- INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R315
- RULES AND REGULATIONS OF THE STATE OF GEORGIA SUBJECT 120-3-3 AND IN ADHERENCE TO GA CODE § 25-2-40 (2023)
- NFPA 72 (NATIONAL FIRE CODE) CHAPTER 11
- NFPA 101 (LIFE SAFETY CODE) CHAPTERS 9 AND 24
- ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL CODES PERTAINING TO FIRE AND GAS DETECTION

*NOT ALL CODES ARE LEGALLY ENFORCED BY LOCAL JURISDICTIONS; CONFIRM WITH LOCAL COUNTY AND/OR CITY BEFORE INSTALLATION OF SMOKE AND CARBON MONOXIDE DETECTION DEVICES

OUTLET PLACEMENT ON THIS PLAN IS NOT FINAL AND WILL BE DETERMINED BY THE BUILDER OR ELECTRICAL CONTRACTOR

- TV HOOKUPS INCLUDE ALL NECESSARY WIRING/POWER FOR TV, MOUNTED APPROPRIATELY HIGH ON WALLS
- CERTAIN ESSENTIAL COMPONENTS SUCH AS ETHERNET, COAXIAL, AND OTHER CABLES AS WELL AS CIRCUITRY/WIRING FOR GARAGE DOORS, GARAGE DISPOSALS, ETC. ARE NOT INCLUDED BUT ARE EXPECTED TO BE INSTALLED
- BREAKER/POWER LINES AND CONNECTIONS ARE NOT INCLUDED ON THIS PLAN, AS ELECTRICAL FIXTURES THAT PROVIDE LIGHT ARE THE PRIMARY CONCERN

MATERIALS, EQUIPMENT, AND SYSTEMS SHALL MEET ALL PERTINENT REQUIREMENTS OF THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), THE UNDERWRITERS LABORATORY (UL), THE 2020 NATIONAL ELECTRIC CODE (NEC), THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA), AND OTHER NATIONALLY RECOGNIZED AGENCIES AS WELL AS APPLICABLE LOCAL CODES.

ALL ELECTRICAL HARDWARE SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR.

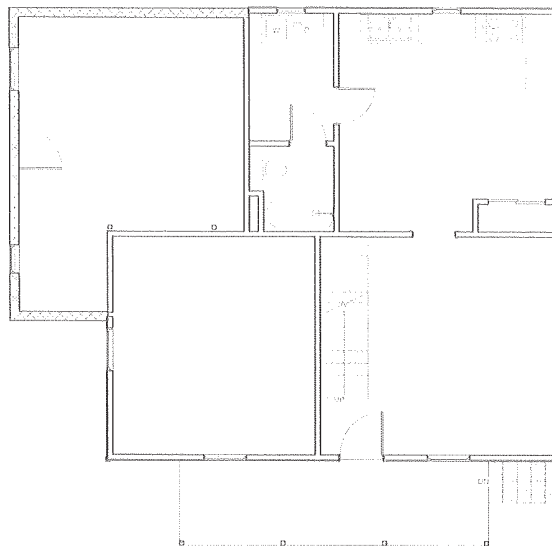
THE ELECTRICAL LAYOUT IS ACCURATE TO THE BEST OF OUR KNOWLEDGE AND IS NOT MEANT TO BE REPRESENTED TO EXACT.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT MAY VARY FROM THE DIMENSIONS SHOWN. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS WITH THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT DIMENSIONAL DISCREPANCIES UPON THE CONTRACTOR.

ALL LIGHTING FIXTURES AND OTHER ELECTRICAL HARDWARE SHALL BE SUPPORTED AND SECURED IN ACCORDANCE WITH THE N.E.C.

THE ELECTRICAL DRAWINGS ARE **DIAGRAMMATIC ONLY** AND ARE FOR CIRCUIT ALLOCATION PURPOSES. DO NOT SCALE DRAWINGS.

ELECTRICAL LEGEND	
	UNDER-CABINET LIGHTS
	SMOKE & CARBON MONOXIDE DETECTORS
	CIRCUIT WIRED INTO AUTOMATED SENSOR/SYSTEM
	GENERIC SINGLE SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	SINGLE DUPLEX WALL MOUNTED OUTLET
	DOUBLE DUPLEX WALL MOUNTED OUTLET
	SINGLE DUPLEX FLOOR MOUNTED OUTLET
	SINGLE DUPLEX GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	GENERIC CEILING LIGHT
	EAVE/SOFFIT LIGHT
	CHANDELIER
	GENERIC WALL MOUNTED LIGHT
	CEILING MOUNTED LIGHT & FAN
	WALL MOUNTED VANITY LIGHT
	RECESSED CAN LIGHT
	CEILING MOUNTED EXHAUST FAN
	FLOOD LIGHT



1 First Floor Electrical



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VERSION	1.0
DATE	8/10/25

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PROJECT NO.	002
AUTHOR	JS
CHECKER	JS

**RIVERDALE
CIRCLE**

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

FIRST FLOOR
ELEC.

CURRENT PAGE NUMBER	TOTAL NUMBER OF PAGES
E101	18

SCALE $1/4" = 1'-0"$

SMOKE DETECTORS & CARBON MONOXIDE ALARM NOTE

THE PLACEMENT AND INSTALLATION OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE FOLLOWING CODES & REQUIREMENTS:

- INTERNATIONAL RESIDENTIAL CODE (IRC) SECTION R315
- RULES AND REGULATIONS OF THE STATE OF GEORGIA SUBJECT 120-3-3 AND IN ADHERENCE TO GA CODE § 25-2-40 (2023)
- NFPA 72 (NATIONAL FIRE CODE) CHAPTER 11
- NFPA 101 (LIFE SAFETY CODE) CHAPTERS 9 AND 24
- ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL CODES PERTAINING TO FIRE AND GAS DETECTION

*NOT ALL CODES ARE LEGALLY ENFORCED BY LOCAL JURISDICTIONS, CONFIRM WITH LOCAL COUNTY AND/OR CITY BEFORE INSTALLATION OF SMOKE AND CARBON MONOXIDE DETECTION DEVICES

FIXTURES NOTE

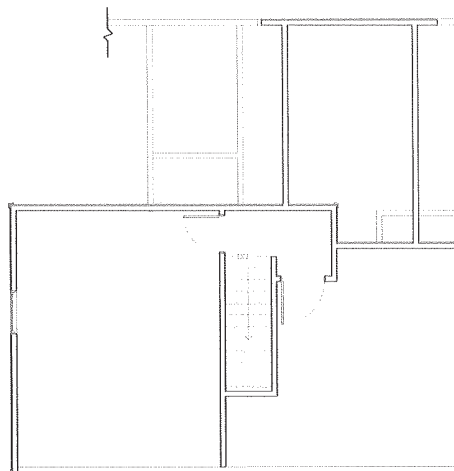
- OUTLET PLACEMENT ON THIS PLAN IS NOT FINAL AND WILL BE DETERMINED BY THE BUILDER OR ELECTRICAL CONTRACTOR
- TV HOOKUPS INCLUDE ALL NECESSARY WIRING/POWER FOR TV, MOUNTED APPROPRIATELY HIGH ON WALLS
- CERTAIN ESSENTIAL COMPONENTS SUCH AS ETHERNET, COAXIAL, AND OTHER CABLES AS WELL AS CIRCUITRY/WIRING FOR GARAGE DOORS, GARAGE DISPOSALS, ETC. ARE NOT INCLUDED BUT ARE EXPECTED TO BE INSTALLED
- BREAKER/POWER LINES AND CONNECTIONS ARE NOT INCLUDED ON THIS PLAN, AS ELECTRICAL FIXTURES THAT PROVIDE LIGHT ARE THE PRIMARY CONCERN.

ELECTRICAL NOTES

- MATERIALS, EQUIPMENT, AND SYSTEMS SHALL MEET ALL PERTINENT REQUIREMENTS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM), THE UNDERWRITERS LABORATORY (UL), THE 2020 NATIONAL ELECTRIC CODE (NEC), THE NATIONAL ELECTRIC MANUFACTURER'S ASSOCIATION (NEMA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), AND OTHER NATIONALLY RECOGNIZED AGENCIES AS WELL AS APPLICABLE LOCAL CODES
- WIRING AND OTHER ELECTRICAL HARDWARE SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR
- WIRING AND LAYOUT IS ACCURATE TO THE BEST OF OUR KNOWLEDGE AND IS NOT MEANT TO BE REPRESENTED TO EXACT MEASUREMENTS. HOWEVER, IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT MAY VARY FROM WHAT IS SHOWN. THEREFORE, THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION DIRECTLY UPON THE CONTRACTOR
- ALL LIGHTING FIXTURES AND OTHER ELECTRICAL HARDWARE SHALL BE SUPPORTED AND SECURED IN ACCORDANCE WITH THE N.E.C.
- THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE FOR CIRCUIT ALLOCATION PURPOSES. DO NOT SCALE DRAWINGS

ELECTRICAL LEGEND

	UNDER-CABINET LIGHTS
	SMOKE & CARBON MONOXIDE DETECTORS
A	CIRCUIT WIRED INTO AUTOMATED SENSOR SYSTEM
	GENERIC SINGLE SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	SINGLE DUPLEX WALL MOUNTED OUTLET
	DOUBLE DUPLEX WALL MOUNTED OUTLET
	SINGLE DUPLEX FLOOR MOUNTED OUTLET
	SINGLE DUPLEX GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	GENERIC CEILING LIGHT
	EAVE/SOFFT LIGHT
	CHANDELIER
	GENERIC WALL MOUNTED LIGHT
	CEILING MOUNTED LIGHT & FAN
	WALL MOUNTED VANITY LIGHT
	RECESSED CAN LIGHT
	CEILING MOUNTED EXHAUST FAN
	FLOOD LIGHT



① Second Floor Electrical
1/4" = 1'-0"



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PROPOSED FOR CONSTRUCTION

VERSION 1.0
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REVISIONS		
No.	Description	Date

PROJECT NO. 002
AUTHOR JS
CHECKER JS

RIVERDALE CIRCLE

Elmer
Guzman

HOME/PROPERTY OWNERS

13 Riverdale Circle
Canton, GA 30114

SECOND FLOOR ELEC.

CURRENT PAGE NUMBER TOTAL NUMBER OF PAGES

E102

18

SCALE 1/4" = 1'-0"

FLOOR JOIST SPANS FOR COMMON LUMBER SPECIES (Residential sleeping areas, live load = 30 psf, L/A = 360)

CEILING JOIST SPACING FOR COMMON LUMBER SPECIES

RAFTER SPANS FOR COMMON LUMBER SPECIES (Roof live load = 20 psf, $c_e = 1.0$)

TABLE 2308.7.2(1) - PART II	
	DEAD LOAD = 10 psf
1	20 psf
2	20 psf
3	20 psf
4	20 psf
5	20 psf
6	20 psf
7	20 psf
8	20 psf
9	20 psf
10	20 psf
11	20 psf
12	20 psf
13	20 psf
14	20 psf
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121	20 psf
122	20 psf
123	20 psf
124	20 psf
125	20 psf
126	20 psf
127	20 psf
128	20 psf
129	20 psf
130	20 psf
131	20 psf
132	20 psf
133	20 psf
134	20 psf
135	20 psf
136	20 psf
137	20 psf
138	20 psf
139	20 psf
140	20 psf
141	20 psf
142	20 psf
143	20 psf
144	20 psf
145	20 psf
146	20 psf
147	20 psf
148	20 psf
149	20 psf
150	20 psf
151	20 psf
152	20 psf
153	20 psf
154	20 psf
155	20 psf
156	20 psf
157	20 psf
158	20 psf
159	20 psf

TABLE 23087.3.1
RAFTER TO CONNECTIONS





