



CERTIFICATE OF APPROPRIATENESS STAFF REPORT

FROM: Community Development Department

Prepared by: Brittany Anderson

SUBJECT: COA2408-017 196 North Street (Design Request of Minor Exterior Modifications to an Existing Building)

DATE: August 26, 2024

RECOMMENDATION

HPC to consider the applicant's design request of minor exterior modifications to an existing building located at 196 North Street as submitted and guided by the City's Historic District Design Guidelines.

REPORT-IN-BRIEF

DISCUSSION

The applicant is requesting the following exterior changes:

1. Replace the existing exterior stairs at the rear of the building. The material will be wood.
2. Board up the existing second door at the rear of the building.

An addition can add needed space to a building, but it can also radically alter the appearance of a building. The placement and design of additions should be contextual and should not detract from the form and character of the existing structure. An addition should also respect the character and scale of surrounding buildings. The following guidelines shall apply to building additions.

1. Locate additions to the side or rear of buildings, away from public view and not dominating the original building and site.
2. Do not use the same wall plane, roofline or cornice line as the original structure.

Phone: 770.704.1500 | Fax: 770.704.1538 | 110 Academy Street | Canton, Georgia 30114

cantonga.gov



3. Do not obscure or damage historic materials and character-defining features that characterize the original building.
4. Differentiate new construction from the old, but ensure the addition is compatible in scale and architectural features.
5. Use materials, architectural features and colors that are compatible with the original building.
6. Respect the proportions of the building to which an addition is being made, including height, mass, rhythm of openings, and roof shape.
7. Do not add full floors as rooftop additions. This permanently alters the original building form.
- 8. Do not add porches, staircases or balconies on front or side façades where none originally existed.**
9. Match porch roofing materials with that of the main roof system.

Doors are often the primary focal point of entrances and serve as a functional and ceremonial element of a storefront. Because of their importance, they require special maintenance and treatment. The following guidelines shall apply to the treatment of doors.

1. Retain, restore, and maintain original doors.
2. If replacement parts are necessary, replace with parts that match original materials and architectural style of the building.
3. If replacement of original doors is necessary, replace with custom commercial doors. Residential doors are not appropriate for commercial storefronts and should not be used. Generally, 80% of a commercial door is glass and should match the treatment of display windows.
4. If a residential house has been converted to a commercial business, use residential door types. Commercial doors are not appropriate.

The sides and rear of a building can serve many functions including service access, a location for utilities as well as a secondary building entrance. Additionally, many side and rear façades face side streets or alleys and serve as a second “face” of a building. They can define the character along a side street as well as influence the perception of maintenance and safety in any area. The following guidelines shall apply to the treatment of side and rear façades.

1. Maintain service and utility access at the side or rear of buildings.
2. Use materials for service doors that are compatible with primary building materials and architecture.
3. Make secondary entrances visible from the street or parking lot. They should have a similar door treatment and design to the front entrance. Awnings and/or planters may also be appropriate to highlight the entrance.



4. Maintain side and rear doors and windows. Do not cover or fill in side or rear building openings. If an opening has been filled or covered, remove fill or cover and restore original opening(s).
5. Do not install false, "Main Street" style storefronts on the rear façade.
6. Retain and repair (rather than replace) original balconies and fire escapes. If existing landings and railings are too deteriorated, replace with in-kind skeletal assembly to match the historic feature.
7. Do not install residential style doors.

For additional information regarding the applicant's request, please see the attached application.

CONCURRENCES

FISCAL IMPACT

ALTERNATIVES

Attachments - COA2408-017 Application



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION

Project # _____ (staff only)

- Application Requirements:** All applications must be complete and include required support materials (listed on the reverse side of this application form). Incomplete applications will not be forwarded to the Canton Historic Preservation (HPC) for review. The applicant must submit the application and all supporting materials as the appropriate building permit option using the online permitting and licensing portal found here: <https://canton.onlama.com/>. For signs, submit the application and all supporting materials as a sign permit using the online permitting and licensing portal found here: <https://canton.onlama.com/>.
- Application Deadline:** Applications and support materials must be submitted fifteen (15) business days prior to the regular HPC meeting. Applications must be submitted to the Community Development Department.
- Application Representation:** The applicant or authorized representative of the applicant must attend the HPC meeting to support the application.
- Building Permit Requirements:** In addition to a COA application, building permits may be required from the Building Department. Building permits will not be issued without proof of a COA.
- Deadline for Project Completion:** After application approval, the COA is valid for 18 months and null and void if construction does not begin within 6 months.
- Local Resources:** [The Canton Historic District Design Guidelines](#) document provides a boundary map of the Canton Historic District, a design review process flowchart and a list of projects that require review and approval (administrative review by Community Development Department staff or review by the Canton HPC). The Guidelines are available at City Hall and on the City of Canton website.

A CERTIFICATE OF APPROPRIATENESS IS REQUIRED FOR ANY MATERIAL CHANGE IN APPEARANCE OF PROPERTY (BUILDINGS, STRUCTURES, SITES, OBJECTS, EXTERIOR ENVIRONMENTAL FEATURES) IN A LOCALLY DESIGNATED HISTORIC DISTRICT, AS AUTHORIZED BY THE CITY OF CANTON HISTORIC PRESERVATION ORDINANCE, WITH THE EXCEPTION THAT ANY PROPERTY USED AS A SINGLE-FAMILY DWELLING IS EXEMPT FROM THIS REQUIREMENT.

Contact Information:

Applicant Name*: Rebecca Hinton Telephone: 201-669-1162
Email: Rebeccakilbride27@gmail.com
Mailing Address: 313 Spring Hill Drive
Canton, GA 30115

*NOTE: If applicant is not the owner, a letter from the owner authorizing the proposed work must be included. Please include owner's telephone number and mailing address.

Property Information:

Address: 196 North Street, Canton, GA 30114
Land Lot(s): _____
District/Section: _____ Map #: _____ Parcel #: _____
Zoning: _____ Present Use: _____

Scope of Work: (Check all that apply)

STAFF REVIEW:		HPC REVIEW:	
☐ Removal of non-historic detached structure	☐ Installation of screen or storm doors	☐ Addition	☐ Signs
☐ Maintenance of / change in paint color	☐ Installation of screen or storm windows	☐ Alteration	☐ Site Features
		☐ New Construction	☐ Demolition
		☐ Restoration	☐ Relocation
OTHER:			
☐ Amendment to previous COA, Project #:		☐ Other (Description):	



Community Development Department

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Application Checklist

A complete application requires support materials. Please check the list below for which materials may be necessary for design review of a particular project.

New Buildings and New Additions

- ☐ Letter of Intent
- ☐ Site plan
- ☐ Architectural elevations
- ☐ Landscape plan (vegetation not required)
- ☐ Description of materials
- ☐ Photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation or Remodeling

- ☐ Letter of Intent
- ☐ Architectural elevations or sketches
- ☐ Description of proposed changes
- ☐ Description of materials
- ☐ Photographs of existing building
- ☐ Documentation of earlier historic appearance (Restoration only)

Minor Exterior Changes

- ☐ Letter of Intent
- ☐ Description of proposed changes
- ☐ Description of materials
- ☐ Photographs of existing building

Site Changes – Parking Areas, Drives and Walks

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Fences, Walls, and Systems

- ☐ Letter of Intent
- ☐ Site plan or sketch of site
- ☐ Architectural elevations or sketches
- ☐ Description of materials
- ☐ Photographs of site

Site Changes – Signs

- ☐ Letter of Intent
- ☐ Approved sign application
- ☐ Site plan or sketch of site
- ☐ Description of materials or illumination

NOTE: Only complete applications will be placed on the agenda for design review. All plans must be “to scale”. Reduced site plans, surveys, architectural drawings...etc. will not be accepted.

Applications should be submitted to the City of Canton Community Development Department, 110 Academy Street, Canton, Georgia 30114. Please contact 770-704-1500 for more information.

Describe the proposed project (attach additional sheets if necessary). The description should include proposed materials.

Please divide the description if the proposed scope of work will involve more than one type of project.
Example: 1) Addition of storage and 2) installation of sign.

We are replacing the existing exterior back stairs in order to meet code. The material will be wood. Please see photos of exterior photos before work is done.

In addition to the stairs, we will board up the existing second back door.

We are also adding a sign in the front of the building.

Please also see photos of sign.



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

CERTIFICATE OF APPROPRIATENESS APPLICATION IMPORTANT DATES

SUBMITTAL DEADLINE	MEETING DATE
DECEMBER 11, 2023	JANUARY 9, 2024*
JANUARY 15, 2024	FEBRUARY 5, 2024
FEBRUARY 12, 2024	MARCH 4, 2024
MARCH 11, 2024	APRIL 1, 2024
APRIL 15, 2024	MAY 6, 2024
MAY 13, 2024	JUNE 3, 2024
JUNE 10, 2024	JULY 1, 2024
JULY 15, 2024	AUGUST 5, 2024
AUGUST 13, 2024*	SEPTEMBER 10, 2024*
SEPTEMBER 16, 2024	OCTOBER 7, 2024
OCTOBER 15, 2024	NOVEMBER 12, 2024**
NOVEMBER 11, 2024	DECEMBER 2, 2024
DECEMBER 16, 2024	JANUARY 6, 2025

*DATE CHANGED DUE TO CITY HALL BEING CLOSED FOR HOLIDAY

**DATE CHANGED DUE TO ELECTIONS HELD AT CITY HALL

August 6, 2024

Community Development Department
110 Academy Street, Canton, GA 30114

To whom it may concern,

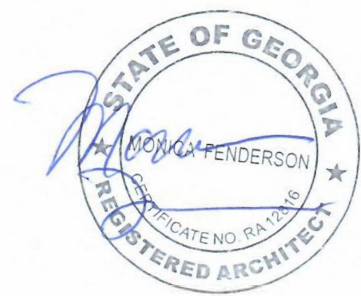
I am writing this letter to seek approval for the replacement of the exterior back stairs on 196 North Street, Canton, GA 30114. This is needed in order to meet code and will serve as our second egress. We have hired AAA Construction Company, LLC who has a wonderful reputation.

I have attached the additional documents and photos needed for reference.

Warmest Regards,
Rebecca Hinton

ISSUE RECORD

NUMBER	DATE	ISSUE REVISION
1	062624	PERMIT 1



EXISTING CONDITIONS
FLOOR PLAN | EGRESS

DREAMY CLOUD
INDOOR PLAY

196 NORTH STREET
Canton, GA 30114
Cherokee County

OWNERS

DREAMY CLOUD
SOFT PLAY RENTALS

RYAN + TERESA PARDUE
196 North Street
Canton, Ga 30114



DESIGN MANAGEMENT | ENGINEERING | PROJECT EXPEDITING

Post Oak Partners, LLC

1205 Peachtree Parkway
Suite 1104
Cumming, Georgia 30042

Direct 770.689.6727
F 678.513.6044

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CONDITIONS & DIMENSIONS PRIOR TO START OF WORK,
AND ACCEPTS ALL EXISTING CONDITIONS.

DISCREPANCIES SHALL BE REPORTED TO POST OAK
PARTNERS, LLC IN WRITING AND RECONCILED BEFORE
PROCEEDING. CONTRACTOR ASSUMES FULL & SOLE
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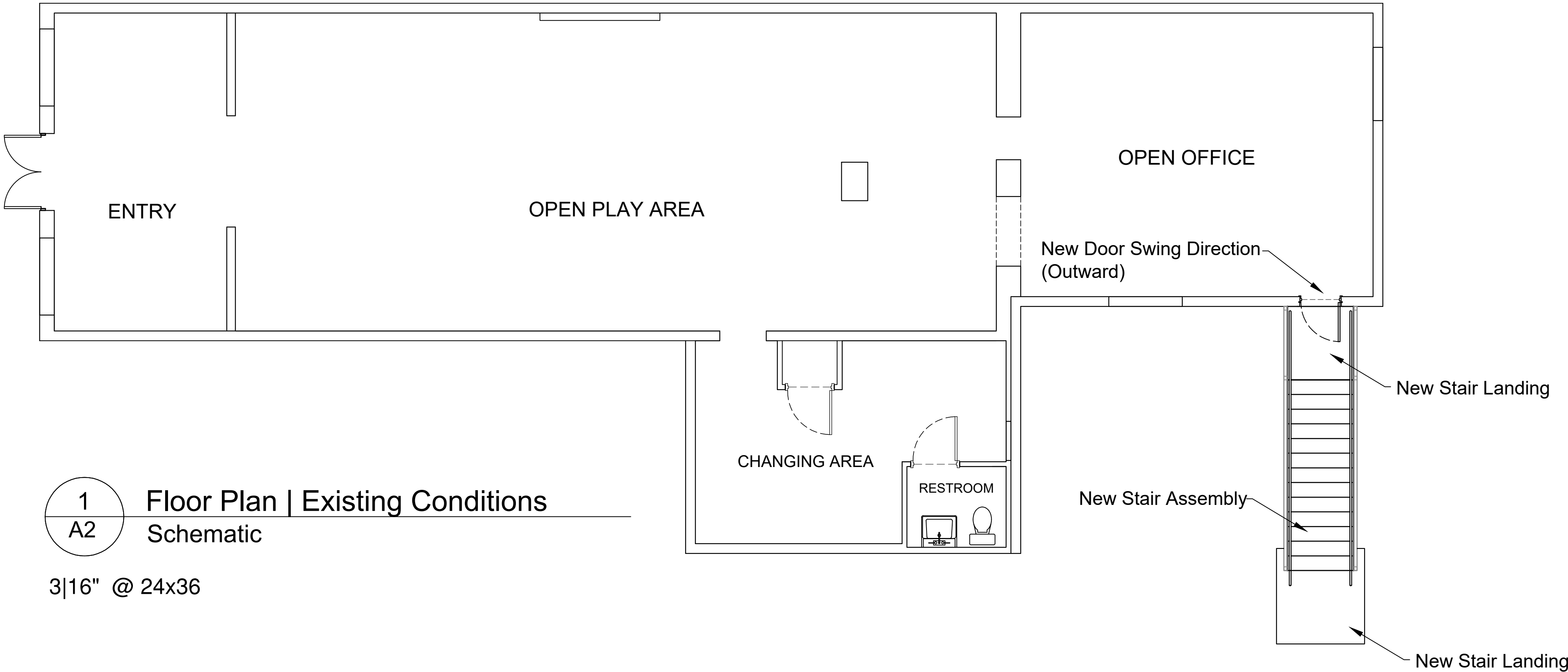
DRAWING

A2

Egress Stair Dimension UPDATE 071524

EGRESS STAIR | Notes

- Adjust vertical dimensions based on grade elevations
- Egress structure may be constructed of Steel OR Wood
- Shop drawings including structural details to be provided as required by OWNER
- Columns shall be 6'x6' PT pine OR 6" Steel pipe columns
- Concrete footings shall be minimum 18" wide X 36" deep
- Hand rail shall be 1 1/2" Diameter steel tube painted OR powder coat finish
- Vertical pickets shall be maximum 4" OC
- Termination pad shall be 5'x5' 4" thick 3,000 PSI concrete
- Pad shall slope away from stair @ 1/8" PF
- Site conditions | grades | slope | proximity to structures | drives shall be verified by GC and layout adjusted accordingly



1
A2
Floor Plan | Existing Conditions
Schematic

3/16" @ 24x36

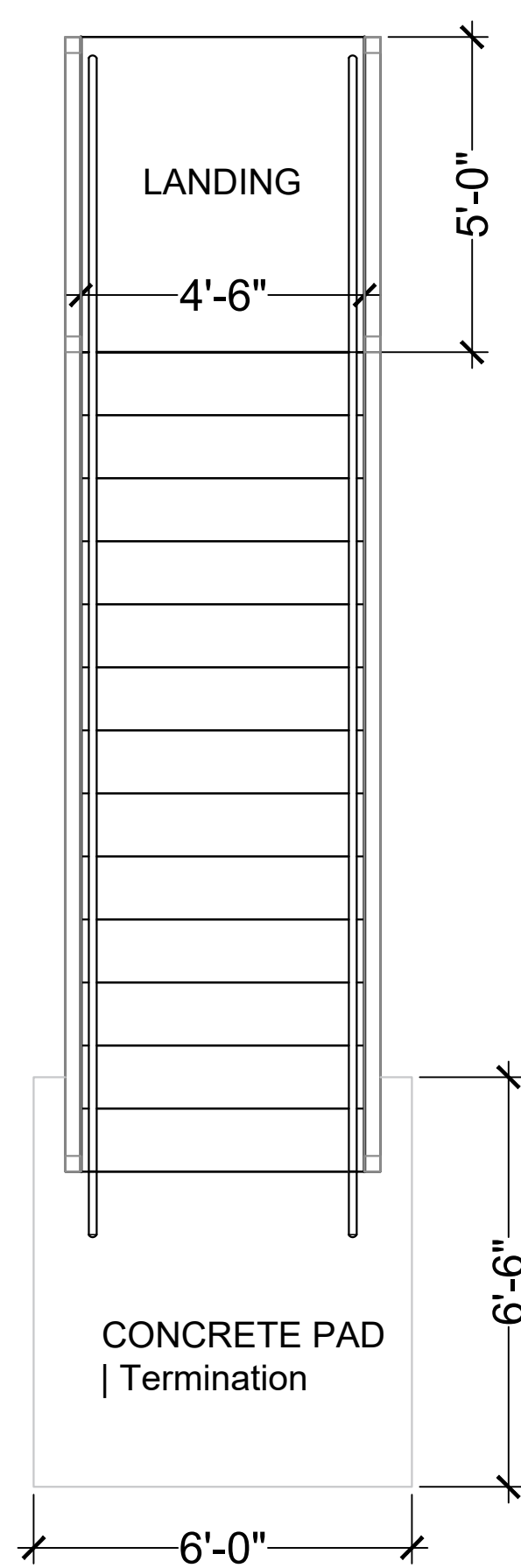
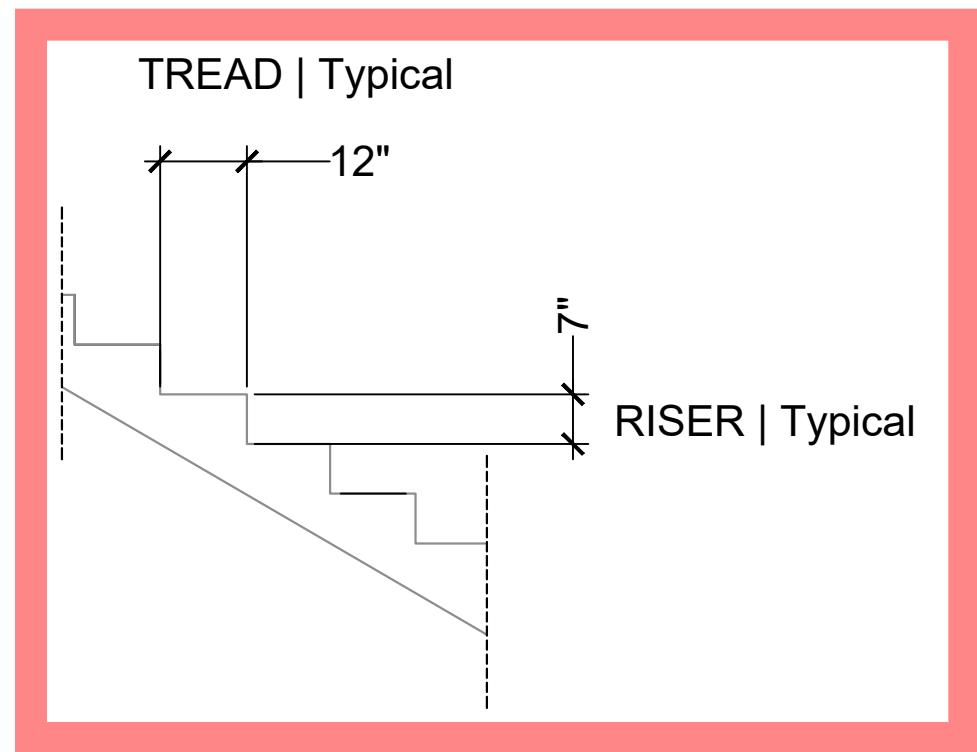
Vertical | Step Calculations

*Field determine vertical after finish grades are in place.

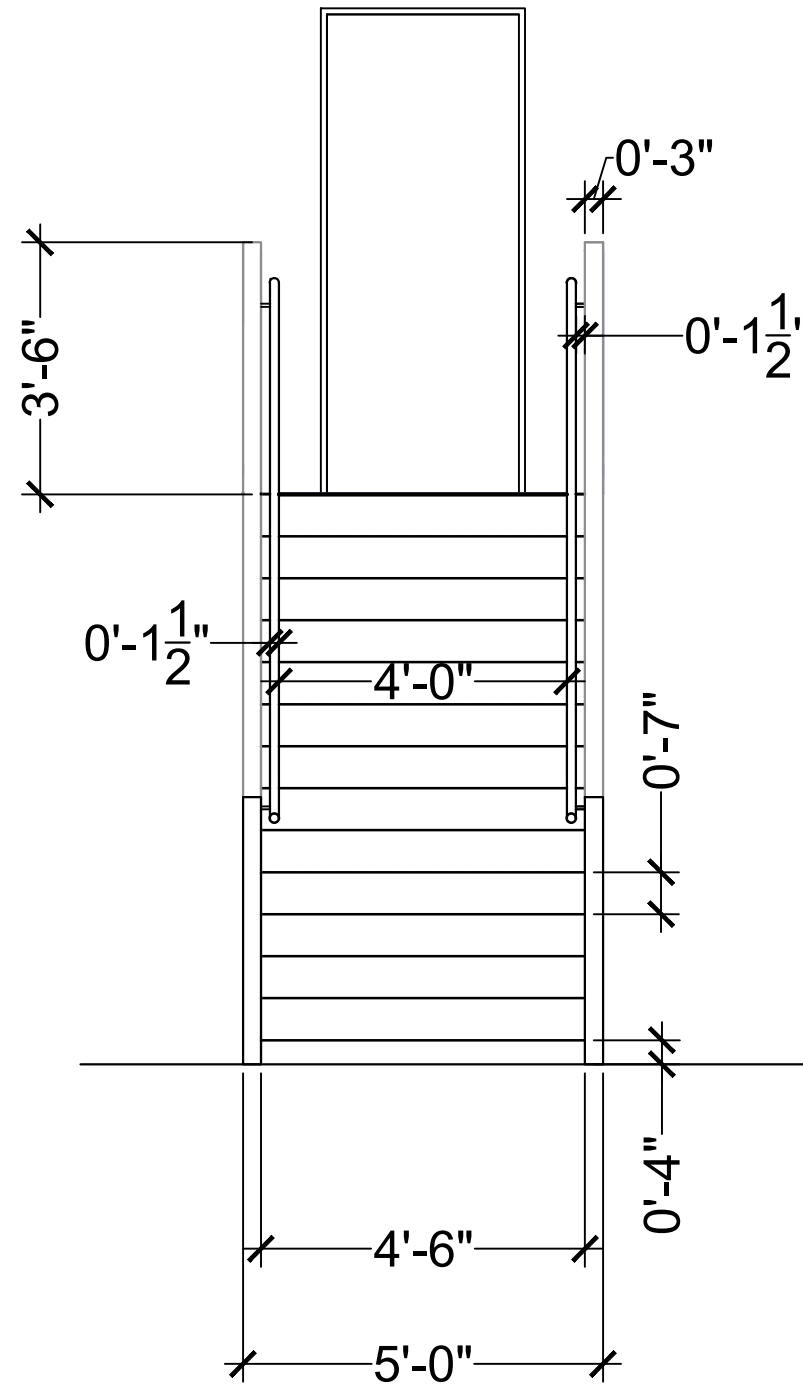
NET | Vertical 8'-2" | 98"
Risers | 14 Risers @ 7" = 98"

NET | Horizontal 216"

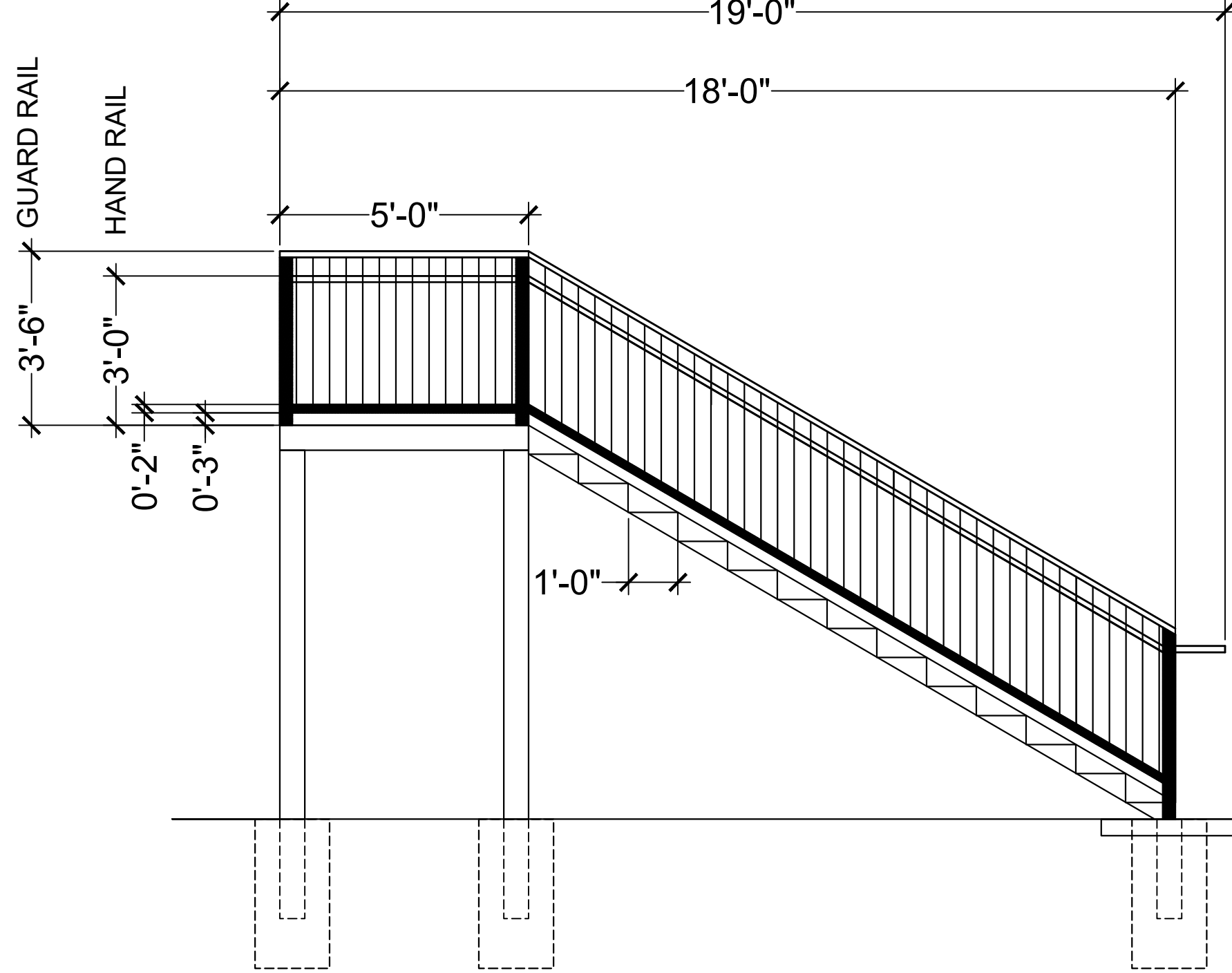
Treads | 13 @ 12" = 156"
Landings (2) | 120" Net



Plan View



Elevation | Front View



Elevation | Side View

3
A2
EGRESS STAIR | Dimensions
Schematic

3/8" SCALE @ 24x36

2
A2
VERTICAL CALCULATIONS | Egress Stair
Schematic

NO SCALE @ 24x36

HDHP/7/9/2024 11:43 AM 2024 071 196 North - Dreamy Cloud Indoor Play REV 070924.3.dwg

EGRESS STAIR | Notes

1. Adjust vertical dimensions based on grade elevations
2. Egress structure may be constructed of Steel OR Wood
3. Shop drawings including structural details to be provided as required by OWNER
4. Columns shall be 6'x6' PT pine OR 6" Steel pipe columns
5. Concrete footings shall be minimum 18" wide X 36" deep
6. Hand rail shall be 1 1/2" Diameter steel tube painted OR powder coat finish
7. Vertical pickets shall be maximum 4" OC
8. Termination pad shall be 5'x5' 4" thick 3,000 PSI concrete
9. Pad shall slope away from stair @ 1/8" PF
10. Site conditions | grades | slope | proximity to structures | drives shall be verified by GC and layout adjusted accordingly

Egress Stair

-Labor & Materials

-Green Wood Construction & Columns (6x6")

-Concrete Footings 18x36"

-Wooden Handrail

-Termination Pads

















196 North Street

Dreamy Cloud
INDOOR PLAY
playspace & events

BUS STOP