

**Action Requested/Required:**

- ☒ Vote/Action Requested
☐ Discussion or Presentation Only
☐ Public Hearing
Report Date: 2/11/25
Hearing Date: 2/6/25
Voting Date: 2/20/25

Department: Community Development **Presenter(s) & Title:** Steve Green, Zoning Administrator

Agenda Item Title:

ANNX2409-001, RZON2409-002, MP2409-003 - Request to annex, rezone and gain Master Plan approval for 58.29 acres located on Knox Bridge Highway, just west of River Green - Knox Bridge Land Partners

Summary:

The applicant seeks to annex, rezone and obtain Master Plan approval for 58.29 acres for the development of a 200 detached single family home project. The property lies just west of River Green and involves property on the north and south side of Knox Bridge Highway.

Budget Implications:

Budgeted? ☐ Yes ☐ No ☐ N/A

Total Cost of Project: Check if Estimated ☐

Fund Source: General Fund ☐ Water & Sewer ☐ Sales Tax ☐ Other:

Staff Recommendations:

Staff recommends approval of these applications. Possible conditions can be found in the staff report.

Reviews:

Has this been reviewed by Management and Legal Counsel, if required? ☐ Yes ☐ No

Attachments:

Application
Site plans
Surveys



Land Use Petition: ANNX2409-001/RZON2409-002/MP2409-003

Date of Staff Report Preparation: 2/11/25

Mayor and City Council Public Hearing Date: 2/06/25

Mayor and City Council Action Date: 2/20/25

Project Name/Applicant: Knox Bridge Land Partners, LLC

Property Location: Knox Bridge Highway, Tax Parcels 023/023A, Tax Map Book Number 14N12 and Tax Parcels 001/002, Tax Map Book Number 14N12B

District/Land Lot: Land Lots 89 and 90, 14th District

Acreage: 58.29

Existing Zoning District: AG and GC, Cherokee County

Existing Land Use: Single family home/Commercial structure

Future Development Map Designation: SDA, Suburban Development Area

Existing Zoning: AG and GC, Cherokee County

Requested Zoning: PD-R (Planned Development, Residential)

Proposed Development: 200 single family detached subdivision

District Standards: Proposed

___ Zoning District Standards (Primary Street)			
Impervious Surface (max.)	TBD	Front Yard Setback (min.)	20'
Open Space (min.)	TBD	Side Yard Setback (min.)	5'
Building Height (max.)	TBD	Rear Yard Setback (min.)	15'
Building Height (min.)	TBD	Buffer Planting (min.)	50'
Zoning Buffer	50'	Overlay Zone	Yes

Surrounding Land Uses and Zoning:

North – Single family subdivision – R-10

South – Single family homes - AG

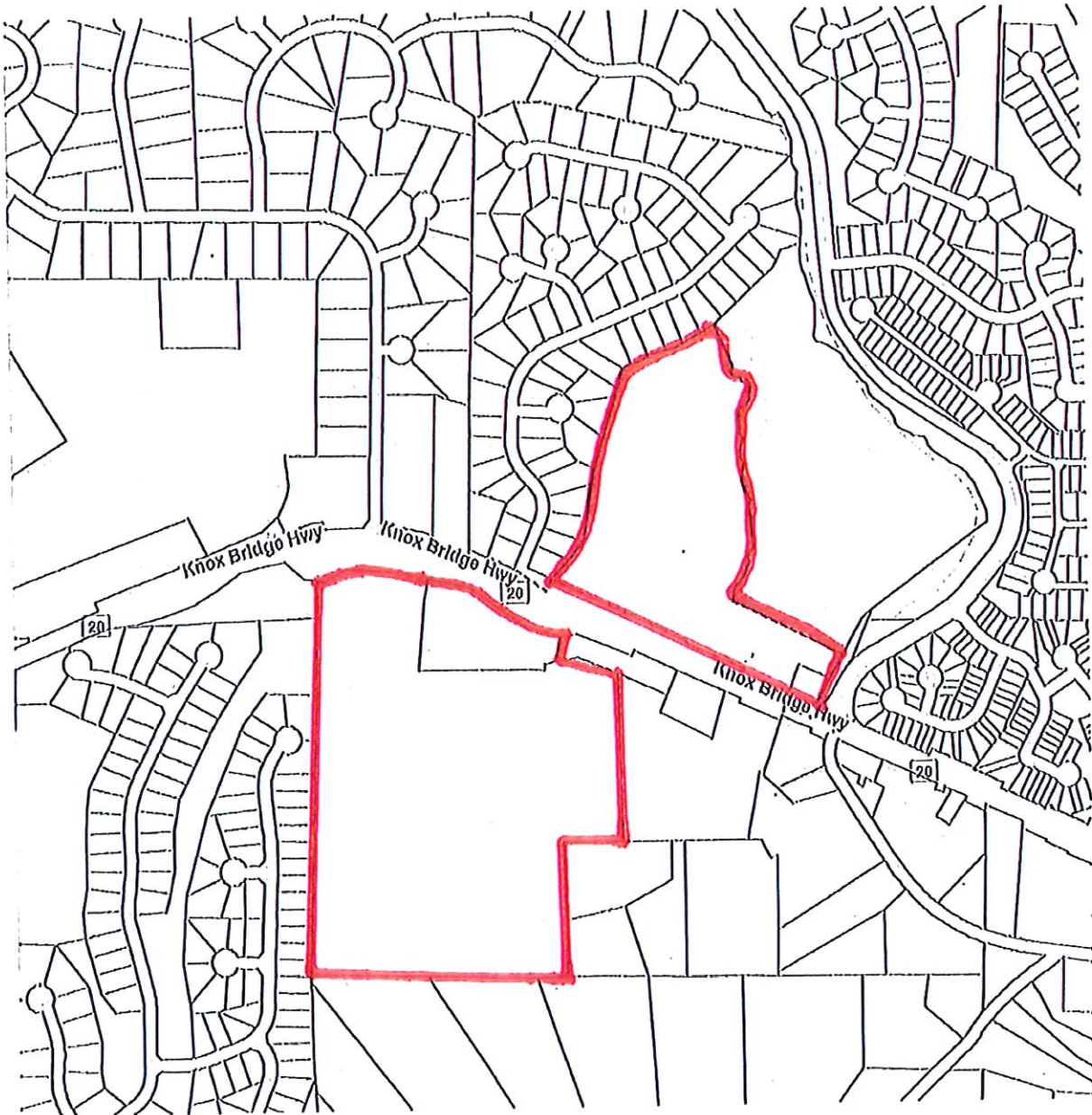
East – School – SU, Single family homes - AG

West – Single family homes – PUD, Single family

homes – R-10

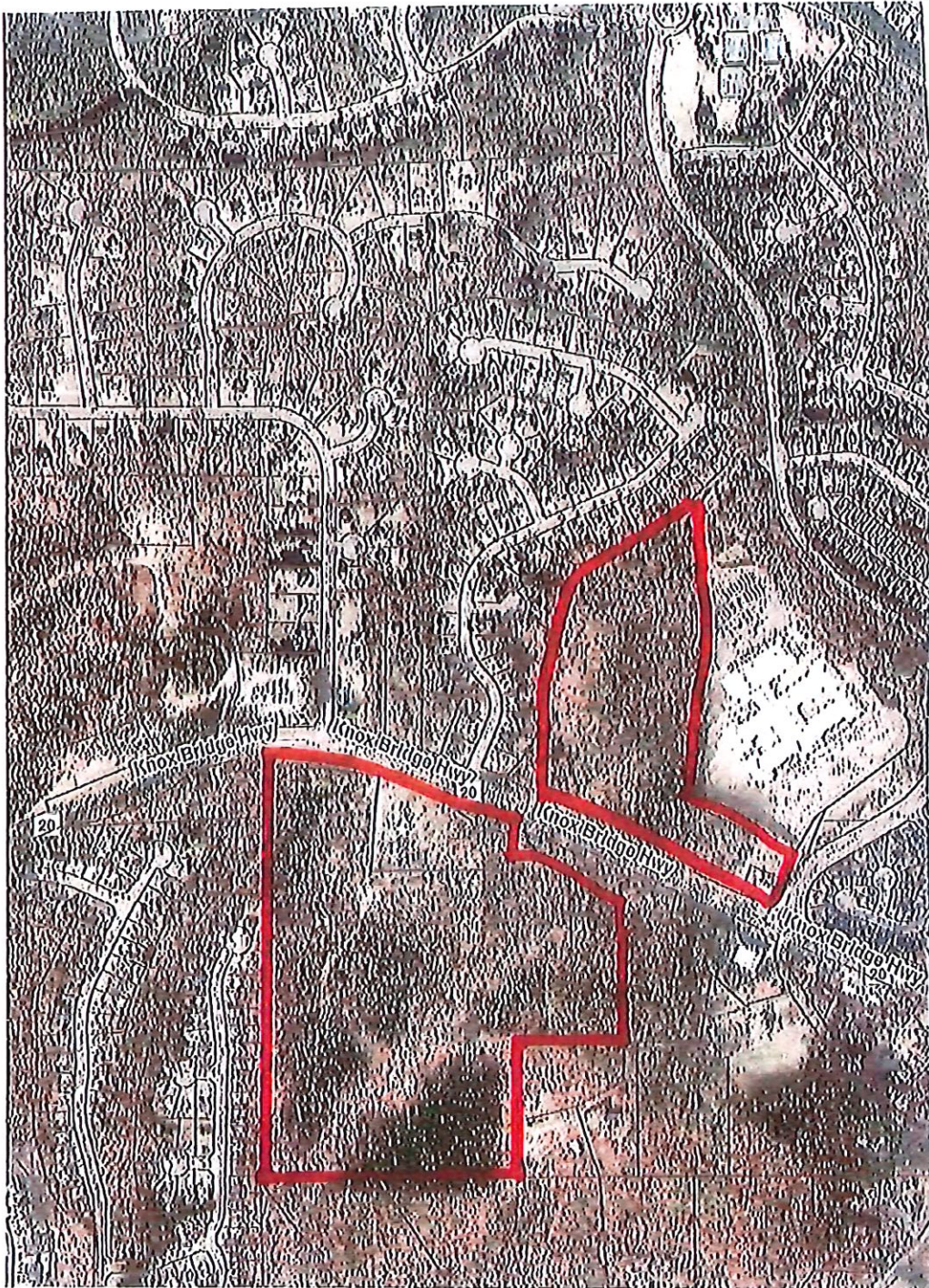
CANTON

Location Map



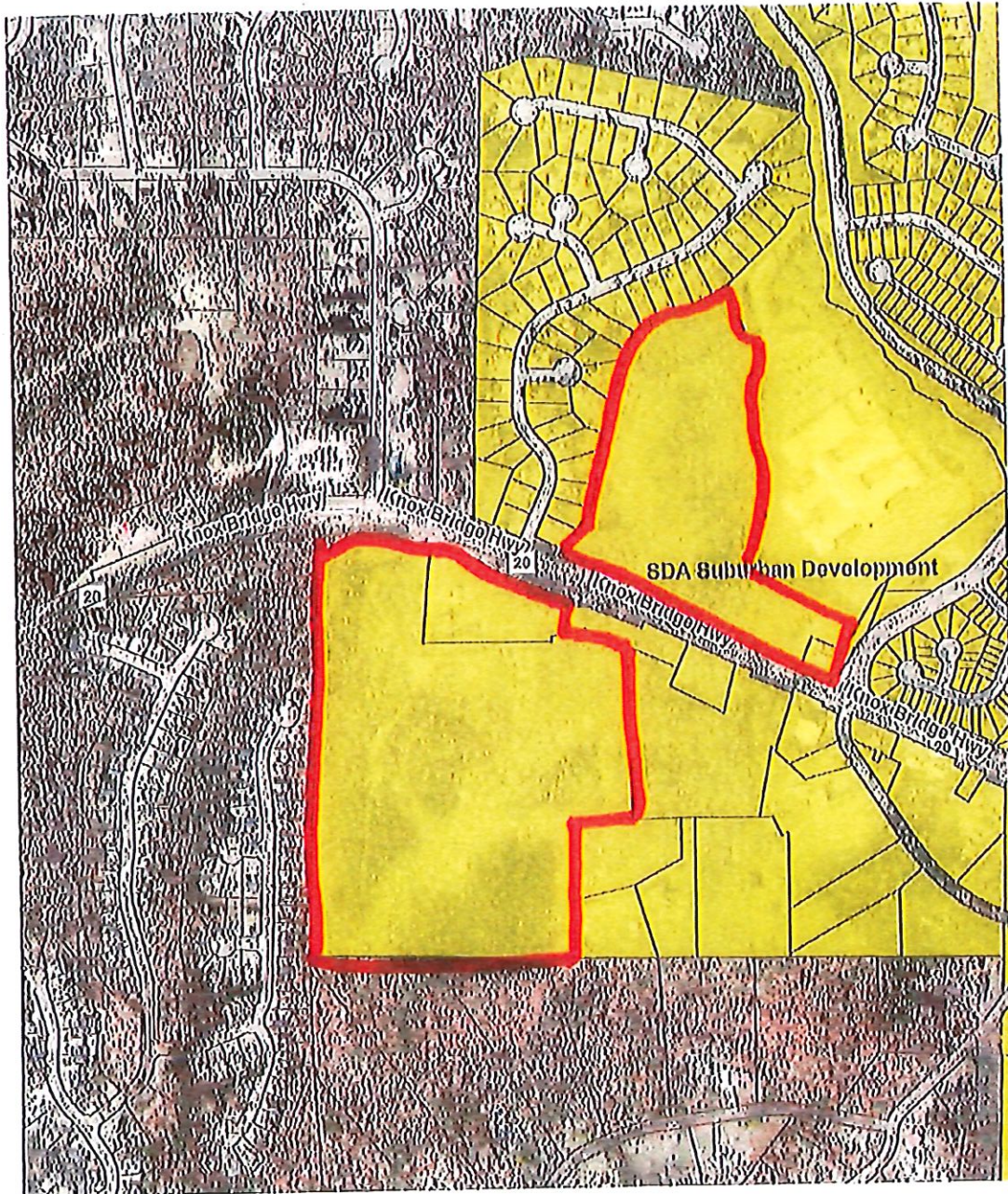
CANTON

Existing Land Use Map



CANTON

Future Development Map





Site Description: The proposed development lies on the north and south side of Knox Bridge Highway. On the south side of the highway there is an existing house with out buildings. On the north side there is a commercial building. The majority of the land is vacant with several creeks/streams running through the property.

Site History: The staff has no knowledge of any past attempts to develop the property.

CRITERIA TO BE APPLIED – LAND USE PETITION (REZONING)

1. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties; **There are several existing single family detached developments in the area. The proposed lot size is smaller than adjacent and nearby developments.**
2. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property; **The proposed zoning will not adversely affect the existing use or usability of adjacent or nearby property.**
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned; **With the exception of the GC zoned parcel the existing AG zoning restricts the use of the property.**
4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools; **The proposed use will not cause an excessive or burdensome use of transportation facilities, utilities or schools. The school board has not responded with an agreed upon mitigation fee. With the addition of 200 homes there will be an increase in traffic on Knox Bridge Highway.**
5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan and Future Development Map; **The subject property is located in a Suburban Developing Area that calls for low density, single family detached homes with a density of 1 to 3 du/a. The proposed 200 units on the combined 58.29 acres results in a density of 3.43 du/a. This is slightly over the recommended density.**
6. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal. **Knox Bridge Highway is**



slated for roadway improvements over the next several years. A couple of commercial businesses have been developed in the last couple of years. These include a gas station/convenience store and self storage facility (currently under construction).

7. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources. **There are no known historic buildings, sites, districts or archaeological sites on the subject property.**
8. Whether the aesthetic and architectural design of the site is compatible with the intent and requirements of the Comprehensive Plan, the Character Areas, and any Overlay Districts. **The road frontage will be subject to the landscape requirements of the Overlay Zone Community Standards Ordinance.**

CRITERIA TO BE APPLIED – CONDITIONAL USE PERMIT

- a. Whether the proposed use is consistent with the comprehensive plan and other adopted policies of the City;
- b. Whether the proposed use complies with the requirements of this zoning ordinance;
- c. Whether public services, public facilities and utilities are adequate to serve the proposed use;
- d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of:
 1. Noise, smoke, order, dust or vibration generated by the proposed use;
 2. Hours or manner of operation of the proposed use; and
 3. Traffic volumes generated by the proposed use;
- e. Whether the proposed use would result in an over-concentration of the subject use type within the area of the proposed use;



- f. Whether the aesthetic and architectural design of the site is compatible with the intent and requirements of the comprehensive plan, the character areas, and all applicable zoning ordinance regulations; and**
- g. Whether the proposed use is compatible with adjacent properties and land uses, based on consideration of the size, scale and massing of proposed buildings and the overall site design.**

DEPARTMENT COMMENTS

BUILDING AND SAFETY SERVICES

- BUILDING SERVICES:
- SAFETY SERVICES:
- International Building Code, 2018 Edition, with Georgia Amendments ([2020](#)), ([2022](#)), ([2024](#))
- International Residential Code, 2018 Edition, with Georgia Amendments ([2020](#)), ([2024](#))
- International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Plumbing Code, 2018 Edition, with Georgia Amendments ([2020](#)), ([2022](#)), ([2023](#)), ([2024](#))
- International Mechanical Code, 2018 Edition, with Georgia Amendments ([2020](#)), ([2024](#))
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments ([2020](#)), ([2022](#))



- National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022), (2023)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

The City of Canton has an automatic sprinkler system ordinance. All multi-family residential construction (three family dwellings or more) requires an NFPA 13R automatic sprinkler system. For commercial development, any structure over 3,500 square feet shall require an NFPA 13 automatic sprinkler system.

This project may require two or more entrances based on the number of dwelling units constructed. This requirement is in the City of Canton Unified Development Code (UDC), section 109.03.12 - Development access and the 2018 International Fire Code Appendix "D".

The minimum diameter fire main size is 8". Fire hydrant placement is based on both the City of Canton UDC, section 110.02.02 (f)- Design criteria and appendix B and C of the 2018 International Fire Code which has been adopted as law in the City of Canton.

Mail Kiosks shall meet the 2010 Federal ADA standard and USPS-STD-4C. A van accessible handicap parking space and access aisle is required to serve an accessible route to the mail kiosk.

Specific 2018 IFC requirements for civil plans:

1. The 2018 International Fire Code, appendix "D" requires fire apparatus access roads not exceeding 10% grade and for local Cherokee County fire apparatus requirements, access road cross grades may not exceed 5%.
2. Roads throughout the development must be at minimum made of asphalt or concrete capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.
3. Turn radiuses for all streets shall be 35' minimum for development entrances and 25' for interior streets. Proof of turning radius compliance shall be demonstrated using software analysis such as



"AutoTURN" or other clearance/swept path analysis software. For tire curb clearances, bumper swing clearances or inside crimp angles, contact Cherokee County Fire & Emergency Services.

4. Dead end fire apparatus access roads in excess of 150 feet in length shall be provided an approved area for turning around fire apparatus.

5. Aerial fire apparatus streets are required where the vertical distance between the grade plane and the highest roof surface exceeds 30'. The required width of an aerial apparatus road shall be 26' minimum and constructed as noted in note #2 above. One or more of the aerial access routes meeting the building height condition shall be located not less than 15' and not greater than 30' from the building and shall be positioned parallel to one entire side of the building. Overhead utilities and power lines shall not be located over the aerial apparatus road.

Conditions for Consideration

COMMUNITY DEVELOPMENT

The applicant is requesting annexation, rezoning and master plan approval on 58.29 acres on property located off of Knox Bridge Highway. The development will consist of 200 single family detached homes. The property is located on both the north and south side of Knox Bridge Highway. The site plan of the portion on the south side indicates 142 homes. In addition there are two places that will require a 50' buffer where incorporated property will abut unincorporated property. The applicant has been notified of this requirement and has adjusted their site plan accordingly. Knox Bridge Highway is controlled by GDOT and all means of ingress/egress plus any required turn lanes will require their approval.

In viewing the plan and lot configuration the staff will recommend a zoning of R-4 if the annexation is approved. As shown on the site plans all of the lots have a minimum lot size of 4,000 square feet.

The staff recommends **APPROVAL** of these applications with the following possible conditions:

- 1) The minimum lot size presented is 4,000 square feet. The staff recommends the property be zoned as R-4 (4,000 square feet minimum lot size) and not PD-R.
- 2) The development standards shall be those detailed in the applicants Master Plan application and Letter of Intent. Any required standard not addressed in the Master Plan shall be subject to the R-4 zoning category.
- 3) The points of ingress and egress and all roadway improvements along the frontage of Knox Bridge Highway shall be as required and approved by the Georgia Department of Transportation.



- 4) A traffic study shall be provided prior to the issuance of a Land Disturbance Permit.
- 5) The Native Plant Rescue Society shall have access to property to search for and remove and endangered plant species.
- 6) The owner/developer shall contribute a mitigation fee to the Cherokee County School Board should the School Board deem mitigation fees are necessary. This fee shall be as agreed upon between the owner/developer and the School Board. This fee shall be paid in its entirety prior to the issuance of the first building permit.

Conditions for Consideration

DEVELOPMENT SERVICES

-Properties are outside of the City of Canton water and sewer service area - utilities are provided for by CCWSA unless agreement is approved - LOI states these properties are in the City of Canton service area.

-Traffic Study will be required for this site.

-GDOT to approve driveway cuts

-2 access points required for developments over 124 units - one side has 142.

Conditions for Consideration

POLICE DEPARTMENT

Conditions for Consideration

PUBLIC WORKS

Conditions for Consideration



UTILITY ENGINEER

Conditions for Consideration

CHEROKEE COUNTY SCHOOL SYSTEM

The school board has not yet responded to this application.

Conditions for Consideration

CHEROKEE COUNTY (AS NEEDED)

CHEROKEE COUNTY PLANNING AND ZONING DEPARTMENT

The following are comments received from Cherokee County.

"The Board of Commissioners voted unanimously (5-0) to express their concerns about the project relative to density, lot size, contiguity and transportation. The following requests are outlined to address these concerns:

1. The surrounding County parcels to the east of the southern parcel are zoned AG and the proposed density is not compatible with surrounding neighborhoods. Additionally, the lot size is smaller than the lot size in the adjacent communities of Bridgemill and Lakeside at Allatoona. An enlargement of the lot size will be more consistent with the existing subdivisions. With the expansion of Knox Bridge Highway, there anticipated impacts to the proposed development and a reduction proposed lots in the southern parcel may be necessary.
2. The Georgia Department of Transportation will provide feedback as it relates to the proposed SR 20 Road Widening Project No.0007836. There may be a need to consider the alignment of the entrance and the inclusion of medians along Knox Bridge Highway. This may pose challenges to the proposed vehicular traffic pattern.
3. Evaluate the interior street configuration to ensure adequate radius to allow for fire emergency access.
4. Consider a zoning condition to ensure that it will be a For Sale development.
5. Reevaluate the distance of the two parcels and provide a survey to demonstrate contiguity."

Conditions for Consideration

CHEROKEE COUNTY ENGINEER



Conditions for Consideration

CHEROKEE COUNTY FIRE MARSHAL

Conditions for Consideration

STAFF CONDITIONS FOR CONSIDERATION



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

ANNEX 2409-001

Public Hearing Application

Project # _____

1. Please check all information supplied on the following pages to ensure that all spaces are filled out completely and accurately before signing this form. State N/A, where Not Applicable
2. Please make your check payable to "City of Canton."
3. If you have questions regarding this form please contact the Department of Planning and Zoning by calling (770) 704-1530.

KNOX BRIDGE LAND PARTNERS, LLC, by

*This form is to be executed under oath. I, Amy Turcotte, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in the Application for Public Hearing is true and correct and contains no misleading information. I, Amy Turcotte, have received and thoroughly read the Public Hearing Procedures.

Applicant: [Signature] This 17 day of July, 20 24
Print Name: Amy Turcotte

Applicant Information:

Name: KNOX BRIDGE LAND PARTNERS LLC
Address: 1425 Avery Road
City: Canton
State: GEORGIA Zip Code: 30114
Telephone: 404-273-9757
Fax Number: _____
Email Address: ebchamberslaw@gmail.com

Owner Information:

Name: SEE ADDENDUM "A"
Address: _____
City: _____
State: _____ Zip Code: _____
Telephone: _____
Fax Number: _____
Email Address: _____

This Application For (Check Only One):

- | | |
|--|--|
| ☒ A Annexation | ☐ I Temporary Use Permit |
| ☐ B Rezoning | ☐ J Zoning Ordinance Text Amendment |
| ☐ C Master Plans | ☐ K Variance : Pre-Construction |
| ☐ D Master Plan Revisions | ☐ K Variance : Post-Construction |
| ☐ E Conditional Use Permit | ☐ Appeal |
| ☐ F Land Use Modification | |
| ☐ G Zoning Condition Amendment | ☐ Adjustment |
| ☐ H Density Transfer within Master Plan | ☐ Special Exception |

Fee Schedule:

Application Type _____
Base Fee _____ + (#Acres _____ x \$25.00 = _____) = _____
+ (#Acres _____ x \$50.00 = _____) = _____
Advertising Fee _____ = _____

Staff Use Only

Amount Due: _____
Amount Due: _____
Total Fee: _____

Received By: _____

Date: _____

Amount Paid: _____



Community Development Department
110 Academy Street, Canton, Georgia 30114

770-704-1500

Authorization Of Property Owner

This form is to be executed under oath. I, Joyce Poole Lamanac f/k/a Joyce Poole Ivey
Jeremiah H Howard, do
solemnly swear and attest, subject to criminal penalties for false swearing, that I am
the owner of the property, which is the subject matter of the attached application, as
is shown in the records of Cherokee County, Georgia. I hereby authorize the City of
Canton and its representatives to inspect the property, which is the subject of this
application, and post any notices required thereon.

This 23 day of August, 2024.

Owner Signature: Joyce Poole Lamanac

Print Name: Joyce Poole Lamanac f/k/a Joyce Poole Ivey
Jeremiah H Howard

I, the above signed legal owner of the subject property, do hereby authorize the following
application to be submitted to the City of Canton:

- | | |
|---|--|
| ☒ A Annexation | ☐ G Zoning Condition Amendment |
| ☐ B Rezoning | ☐ H Density Transfer within Master Plan |
| ☐ C Master Plans | ☐ I Temporary Use Permit |
| ☐ D Master Plan Revisions | ☐ J Zoning Ordinance Text Amendment |
| ☐ E Conditional Use Permit | ☐ K Variance |
| ☐ F Land Use Modification | |

Sworn To and Subscribed Before Me This 23 Day Of August, 2024.

Notary Signature: [Signature]





Community Development Department

110 Academy Street, Canton, Georgia 30114

770-704-1500

Authorization Of Property Owner

This form is to be executed under oath. I, Ralph E Wheeler & Dianne Poole Wheeler, do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the owner of the property, which is the subject matter of the attached application, as is shown in the records of Cherokee County, Georgia. I hereby authorize the City of Canton and its representatives to inspect the property, which is the subject of this application, and post any notices required thereon.

This 24 day of August, 2024.

Owner Signature: Ralph E. Wheeler
Dianne Poole Wheeler

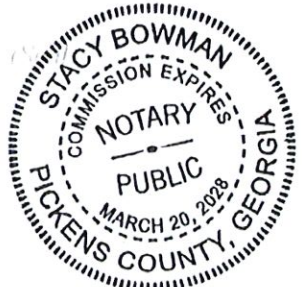
Print Name: Ralph E Wheeler & Dianne Poole Wheeler

I, the above signed legal owner of the subject property, do hereby authorize the following application to be submitted to the City of Canton:

- | | |
|---|--|
| ☒ A Annexation | ☐ G Zoning Condition Amendment |
| ☐ B Rezoning | ☐ H Density Transfer within Master Plan |
| ☐ C Master Plans | ☐ I Temporary Use Permit |
| ☐ D Master Plan Revisions | ☐ J Zoning Ordinance Text Amendment |
| ☐ E Conditional Use Permit | ☐ K Variance |
| ☐ F Land Use Modification | |

Sworn To and Subscribed Before Me This 24 Day Of August, 2024.

Notary Signature: Stacy Bowman





Community Development Department
110 Academy Street, Canton, Georgia 30114
770-704-1500

Authorization Of Applicant

This form is to be executed under oath. I, Ralph E Wheeler & Dianne Poole Wheeler, do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the owner of the property, which is the subject matter of the attached application, as is shown in the records of Cherokee County, Georgia. I hereby authorize the City of Canton and its representatives to inspect the property, which is the subject of this application, and post any notices required thereon.

This 24 day of August, 20 24.

Owner Signature: Ralph E Wheeler
Dianne Poole Wheeler

Print Name: Ralph E Wheeler & Dianne Poole Wheeler

I, the above signed legal owner of the subject property, do hereby authorize the person named below to act as applicant in the pursuit of a request for:

- | | |
|---|--|
| ☒ A Annexation | ☐ G Zoning Condition Amendment |
| ☐ B Rezoning | ☐ H Density Transfer within Master Plan |
| ☐ C Master Plans | ☐ I Temporary Use Permit |
| ☐ D Master Plan Revisions | ☐ J Zoning Ordinance Text Amendment |
| ☐ E Conditional Use Permit | ☐ K Variance |
| ☐ F Land Use Modification | |

Name of Authorized Applicant: KNOX BRIDGE LAND PARTNERS LLC

Signature: [Signature]

Mailing Address: 1425 Avery Road

City: Canton

State: Georgia Zip Code: 30114

Telephone: 404-273-9757

Fax Number: _____

E-mail: ebchamberslaw@gmail.com

Applicant Status:

- ☐ Owner
☒ Option to Purchase
☐ Lessee
☐ Area Resident
☐ Other (Explain): _____

This Authorization of Applicant Form has been completed and the property owner's signature is Sworn To and Subscribed Before Me This 24 Day Of August, 20 24.

Notary Signature: Stacy Bowman





Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

Authorization Of Applicant

This form is to be executed under oath. I, Joyce Poole Lamanac f/k/a Joyce Poole Ivey
Jeremiah H Howard, do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the owner of the property, which is the subject matter of the attached application, as is shown in the records of Cherokee County, Georgia. I hereby authorize the City of Canton and its representatives to inspect the property, which is the subject of this application, and post any notices required thereon.

This 23 day of August, 2024.

Owner Signature: Joyce Poole Lamanac

Print Name: Joyce Poole Lamanac f/k/a Joyce Poole Ivey
Jeremiah H Howard

I, the above signed legal owner of the subject property, do hereby authorize the person named below to act as applicant in the pursuit of a request for:

- | | |
|---|--|
| ☒ A Annexation | ☐ G Zoning Condition Amendment |
| ☐ B Rezoning | ☐ H Density Transfer within Master Plan |
| ☐ C Master Plans | ☐ I Temporary Use Permit |
| ☐ D Master Plan Revisions | ☐ J Zoning Ordinance Text Amendment |
| ☐ E Conditional Use Permit | ☐ K Variance |
| ☐ F Land Use Modification | |

Name of Authorized Applicant: KNOX BRIDGE LAND PARTNERS LLC

Signature: [Signature]

Mailing Address: 1425 Avery Road

City: Canton

State: Georgia

Zip Code: 30114

Telephone: 404-273-9757

Fax Number: _____

E-mail: ebchamberslaw@gmail.com

Applicant Status:

- ☐ Owner
☒ Option to Purchase
☐ Leasee
☐ Area Resident
☐ Other (Explain): _____

This Authorization of Applicant Form has been completed and the property owner's signature is Sworn To and Subscribed Before Me This 23 Day of August, 2024.

Notary Signature: [Signature]





Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

Disclosure Form

O.C.G.A. § 36-67A-2 / O.C.G.A. § 36-67A-3 requires disclosure of campaign contributions to government officials by an applicant or opponent of a public hearing petition. Applicants must file this form with the Department of Community Development.

1. Name of Applicant/Opponent: KNOX BRIDGE LAND PARTNERS LLC *(per the Public Hearing Responses)*

Section 1

If the answer to any of the following questions is "Yes," complete Section 2.

- A) Are you, or anyone else with a property interest in the subject property, a member of the City of Canton Planning Commission or the City of Canton Mayor and Council?
☐ YES ☒ NO
- B) Does an official of such public bodies have any financial interest in any business entity which has a property interest in the subject property?
☐ YES ☒ NO
- C) Does a member of the family of such officials have an interest in the subject property as described in (A) and (B)?
☐ YES ☒ NO
- D) Within Two (2) years of immediately preceding this application have you made campaign contributions(s) or given gifts to such public officials aggregating \$250 or more?
☐ YES ☒ NO

Section 2

1. Name and the official position of the Canton Official to whom the campaign contribution was made *(Please use a separate form for each official to whom a contribution has been made in the past (2) years):*

2. List the dollar amount/value and description of each campaign contribution made over the past two (2) years by the Applicant/Opponent to the named Canton Official:

Description

\$

\$

\$

Note: Complete a separate form for each authorized applicant.



Community Development Department

110 Academy Street, Canton, Georgia 30114
770-704-1500

Property Information:

Address: 7961, 7963, 7840, & 7386 KNOX BRIDGE HIGHWAY

Land Lot(s): 89 & 90 District: 14TH Section: 2ND Map #: 14N12 Parcel #: 023 & 012A
14N12B 001 & 002

Existing Zoning Of Property: AG & GC ☐ City
☒ County

Total Acreage Of Property: 57.164

Proposed Zoning Of Property: PD-Residential

Existing Use(s) Of Property: RESIDENTIAL, COMMERCIAL, VACAN

Directions to property from Main Street in downtown Canton:

MAIN ST TO WALESKA ST, WALESKA ST RIGHT ON MARIETTA HWY AT RED LIGHT, SOUTH ON MARIETTA STREET, TAKE RIGHT FORK I
KNOX BRIDGE HIGHWAY. PROPERTY IS ON THE NORTH AND SOUTH SIDE OF KNOX BRIDGE HWY WEST OF RIVER BEND

Adjacent Property/Owner Information: Please provide the following information for all adjacent properties, including property connected by public rights-of-way. Attach additional sheets as necessary.

	<u>OWNER NAME/ADDRESS</u>	<u>CURRENT ZONING</u>	<u>CURRENT LAND USE</u>
NORTH	SEE ADDENDUM "B"		
SOUTH			
EAST			
WEST			
OTHER			

UTILITY INFORMATION

How is sewage from this development to be managed? CITY OF CANTON SEWER

Proposed managing jurisdiction: CITY OF CANTON

How will water be provided to the site? CITY OF CANTON WATER

Proposed managing jurisdiction: CITY OF CANTON Size Limit: TBD



EUGENE B. CHAMBERS

ATTORNEY AT LAW
HISTORIC JONES & CLOUD BUILDING
121 EAST MAIN STREET
P. O. BOX 4446
CANTON, GA. 30115

September 3rd, 2024

City of Canton
Mayor and Council
110 Academy Street
Canton, GA 30114

REVISED

RE: Knox Bridge Land Partners, LLC, Letter of Intent

Greetings:

The applicant, Knox Bridge Land Partners, LLC, proposes single family residential community located on the North and the South side of Georgia Hwy 20 (Knox Bridge Highway). The property bounds on River Green, Knox Elementary, Lakeside Allatoona, and Bridgemill The proposed community consists of 57.164 acres with access from Georgia Hwy 20.

The applicant expects approximately 171 dwelling units at a density of 3 DUA with a zoning classification of R-10. Additionally, the Applicant seeks annexation as the property lies within the growth boundary agreed upon with Cherokee County. The property already lies within the City of Canton service provider area.

The City of Canton Future Land Use Plan designates this property as SDA Suburban Development which allows up to 3 units per acre. Currently the property is zoned AG Agriculture with a small area of GC General Commercial in the corner of Georgia Highway 20 and River Bend Way. The Cherokee County Future Land Use Plan allows up to 3 units per acre making the proposal consistent with both the City of Canton and Cherokee County Future Land Use Plans.

On behalf of Knox Bridge Land Investments, LLC thank you for your consideration of this information and proposal.

Yours sincerely,

E. Benson Chambers
Attorney for Applicant
Knox Bridge Land Partners, LLC

404-273-9757
ebchamberslaw@gmail.com



Dear Applicant,

By signing this letter you have acknowledged that you have read and understand the City of Cantons "Housing Needs Assessment & Market Study. A copy of this study may be found on the City's website, www.cantonga.gov.

In addition by signing this letter you have acknowledged that you have read and understand the City of Canton's "Roadmap for Success". This plan was adopted by the Mayor and City Council on December 17, 2020. A copy of this document may also be found on the City's website, www.cantonga.gov. *

I, Amy Turcotte, as applicant and/or owner of the subject property(ies) do hereby attest that I have read and understand the City of Canton "Housing Needs Assessment & Market Study". The proposed project meets the tenets of success and assists the City in reaching goals through the proposed development. The specific means by which these items have been implemented may be found in the Letter of Intent.

[Signature] Date: 9.13.2024
Signature
Amy Turcotte
Printed Name

I, Amy Turcotte, as applicant and/or owner of the subject property(ies) do hereby attest that I have read and understand the City of Canton's "Roadmap for Success". The proposed project has implemented the "Roadmap for Success" or portions thereof within the proposed development. The specific means by which these items have been implemented may be found in the Letter of Intent.

[Signature] Date: 9.13.2024
Signature
Amy Turcotte
Printed Name

*Please be prepared to discuss the items with the City staff.



EUGENE B. CHAMBERS
ATTORNEY AT LAW
HISTORIC JONES & CLOUD BUILDING
121 EAST MAIN STREET
P. O. BOX 4446
CANTON, GA. 30115

July 8th, 2024

City of Canton
Mayor and Council
110 Academy Street
Canton, GA 30114

RE: Knox Bridge Land Investments, LLC
Amended Letter of Intent

Greetings:

The applicant, Knox Bridge Land Investments, LLC, proposes single family residential community located on the North and the South side of Georgia Hwy 20 (Knox Bridge Highway). The property bounds on River Green, Knox Elementary, Lakeside Allatoona, and Bridgemill The proposed community consists of 57.164 acres with access from Georgia Hwy 20.

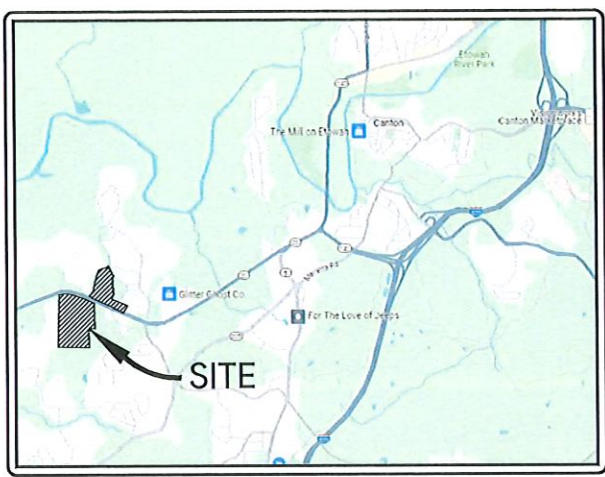
The applicant expects approximately 171 dwelling units at a density of 3 DUA with a zoning classification of PD-Residential. Additionally, the Applicant seeks annexation as the property lies within the growth boundary agreed upon with Cherokee County. The property already lies within the City of Canton service provider area.

The City of Canton Future Land Use Plan designates this property as SDA Suburban Development which allows up to 3 units per acre. Currently the property is zoned AG Agriculture with a small area of GC General Commercial in the corner of Georgia Highway 20 and River Bend Way. The Cherokee County Future Land Use Plan allows up to 3 units per acre making the proposal consistent with both the City of Canton and Cherokee County Future Land Use Plans.

On behalf of Knox Bridge Land Investments, LLC thank you for your consideration of this information and proposal.

Yours sincerely,

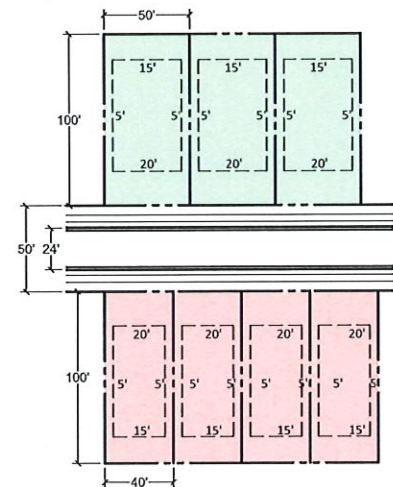
E. Benson Chambers
Attorney for Applicant
Knox Bridge Land Investments, LLC



VICINITY MAP

SITE DATA LEGEND		
	Existing/Req ¹	Proposed
Zoning	AG	PD
Use Allowed		Yes
Flood Zone	No	
Overlay District	No	-
RESIDENTIAL LOT COUNT		
Single Family Residential (40'x100' Front Loaded Lots)		82
Single Family Residential (50'x100' Front Loaded Lots)		60
Total Lots		142
ACREAGE BREAKDOWN		
Single Family Residential (40'x100' Front Loaded Lots)		8.07 AC (19.84%)
Single Family Residential (50'x100' Front Loaded Lots)		8.66 AC (21.28%)
Greenspace & Detention Area		16.12 AC (39.62%)
Proposed Street ROW Acres		5.78 AC (14.20%)
Proposed Future GDOT ROW Area		2.06 AC (5.06%)
Total Property Acreage		40.69 AC
Building Setbacks		
Front	-	20'
Side	-	5'
Rear	-	15'
Boundary Buffers		
Stream Buffers	Yes - See Plan	
Minimum Lot Size		4,000 SF
Minimum Frontage		40' Wide
Adjacent Zoning North	R-10 ZONING	-
Adjacent Zoning South	AG ZONING	-
Adjacent Zoning East	AG ZONING	-
Adjacent Zoning West	PUD ZONING	-

LOT SETBACK LAYOUT



LOT COUNT	
40'x100' FRONT LOADED LOTS:	82
50'x100' FRONT LOADED LOTS:	60
TOTAL LOTS:	142



NOTES: THE PREPARATION OF THIS SITE PLAN IS BASED UPON INFORMATION READILY AVAILABLE DURING THE DILIGENCE PROCESS AND SHOULD NOT BE RELIED UPON FOR ZONING, LEGAL, ENTITLEMENTS AND AN ALTA SURVEY SHOULD BE REVIEWED BY AN ATTORNEY.

07-25

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RENDERED SITE PLAN-SOUTH

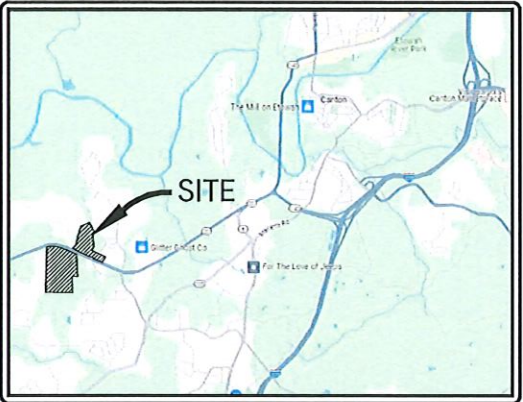
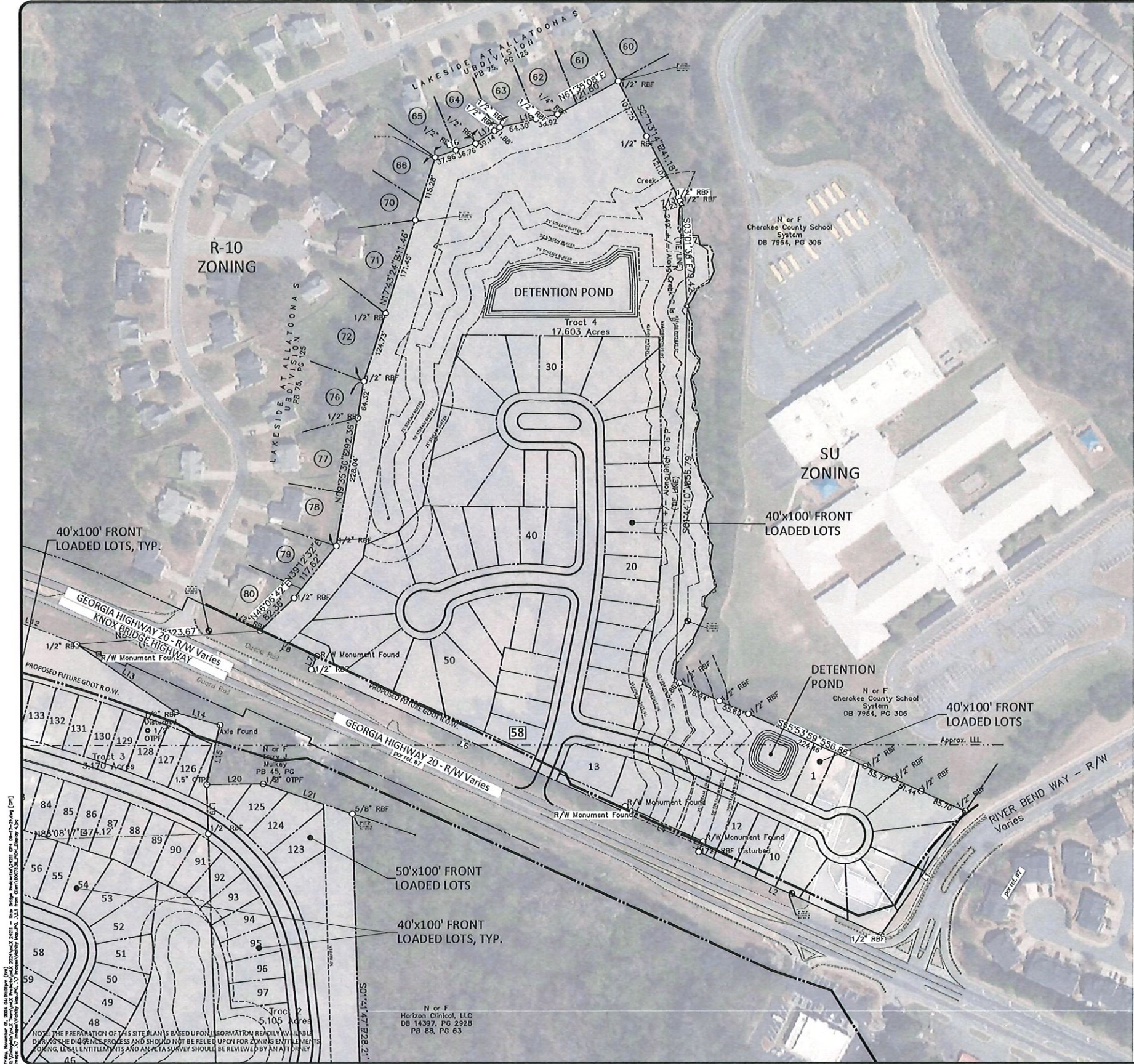
KNOX BRIDGE RESIDENTIAL
KNOX BRIDGE HIGHWAY
CANTON, GA 30107

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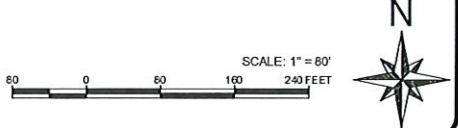
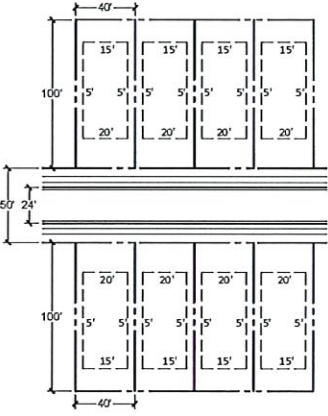
JANUARY 14, 2025

REVISIONS



VICINITY MAP

Level 1		
	Existing/Req	Proposed
Zoning	AG	PD
Use Allowed		Yes
Flood Zone	No	-
Overlay District	No	-
Single Family Residential (40'x100' Front Loaded Lots)		58
Total Single Family Acreage		9.85 AC (56%)
Total Green Space Acreage		7.74 AC (44%)
Total Property Acreage		17.6 AC
Building Setbacks		-
Front		20'
Side		5'
Rear		15'
	50' Buffer from property boundary	
Bounded Buffers		
Stream Buffers	Yes - See Plan	
Minimum Lot Size		4,000 SF
Minimum Frontage		40' Wide
Adjacent Zoning North	PD-MU Planned Development	
Adjacent Zoning South	AG Zoning	
Adjacent Zoning East	SU - Special Use	
Adjacent Zoning West	PD-MU Planned Development	



11-8-24

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PRELIMINARY SITE PLAN-NORTH

KNOX BRIDGE RESIDENTIAL

KNOX BRIDGE HIGHWAY

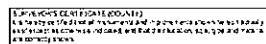
CANTON, GA 30107

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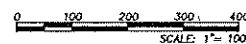
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NOVEMBER 1, 2024

REVISIONS

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Neil A. Meyer 65-02721
 GEORGETOWN UNIVERSITY
 100 UNIVERSITY DRIVE
 GEORGETOWN, DE 21204
 CEO, THE GEORGETOWN UNIVERSITY LIBRARY



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Anderson
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